

ORDINANCE NO. 927

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROHNERT PARK, CALIFORNIA, AMENDING THE ZONING MAP AND ZONING ORDINANCE FOR THE DOWNTOWN DISTRICT AMENITY ZONE (DDAZ) OVERLAY DISTRICTS (CHAPTER 17.06, ARTICLE XIII)

WHEREAS, on March 22, 2016, in accordance with the California Environmental Quality Act (CEQA), the City Council of the City of Rohnert Park certified the Environmental Impact Report for the Central Rohnert Park Priority Development Area Plan (“PDA EIR”), adopted required Findings of Facts, a Statement of Overriding Considerations and a Mitigation Monitoring Plan (MMRP); and

WHEREAS, on March 22, 2016, the City Council of the City of Rohnert Park adopted the Central Rohnert Park Priority Development Area Plan; and

WHEREAS, the Central Rohnert Park Priority Development Area Plan includes design guidelines intended to support the development of a mixed use, downtown environment within a portion of the Priority Development Plan area; and

WHEREAS, the applicant, City of Rohnert Park, filed Planning Application No. PLRZ2018-0001 proposing to amend the Zoning Map and the Rohnert Park Municipal Code (“RPMC”) by amending Chapter 17.06 (Land Use Regulations) of the City of Rohnert Park Zoning Ordinance; and

WHEREAS, the proposed map amendments and amendments to Chapter 17.06 (Land Use Regulations), implement the Central Rohnert Park, Priority Development Area (PDA) plan by establishing form based zoning code provisions consistent with the City’s adopted design guidelines for a mixed-use downtown environment within the Downtown District Amenity Zone (DDAZ) established by Central Rohnert Park Priority Development Area Plan; and

WHEREAS, pursuant to California State Law and the RPMC, public hearing notices were mailed to all property owners within an area exceeding a three hundred foot radius of the subject property and a public hearing notice was published for a minimum of 10 days prior to the first public hearing in the Community Voice; and

WHEREAS, the Planning Commission has reviewed and considered the information contained in the application and the analysis contained in the Staff Report for the proposal and on October 25, 2018 voted 5-0 to adopt a resolution recommending approval of the proposed zoning map and text amendments; and

WHEREAS, on November 13, 2018, the City Council held a public hearing at which time interested persons had an opportunity to comment on the proposed zoning map and zoning ordinance; and

WHEREAS, the City Council has reviewed and considered the information contained in the proposed application.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rohnert Park as follows:

Section 1. Recitals. The above recitations are true and correct.

Section 2. Findings for CEQA. In accordance with the California Environmental Quality Act (CEQA), the PDA EIR was previously certified by the City Council. The City Council hereby finds that the proposed zoning code amendments apply to property within the PDA plan area, implement the approved PDA plan and are consistent with the PDA analyzed in the PDA EIR. Pursuant to Section 15162 of the CEQA Guidelines, no new environmental effects could occur as a result of the amendments and no new mitigation measures would be required. Therefore, no additional environmental review is required. Development in the PDA would be required to comply with the previously adopted MMRP.

Section 3. Findings for Enactment of Amendments to Zoning Map and Zoning Ordinance. The City Council hereby makes the following findings concerning amendments to the Zoning Map and Chapters 17.06 (Land Use Regulations) and has considered the factors set forth in Section 17.25.073:

1. *That the proposed amendments to the Zoning Map and Zoning Ordinance are consistent with the General Plan 2020.*

Criteria Satisfied. The proposed amendments are consistent with General Plan 2020 and the Central Rohnert Park, PDA plan and slightly modify the adopted existing DDAZ overlay boundaries to more accurately reflect existing property lines. The proposed zoning amendments implement general plan goals and policies by supporting the creation of an urban mixed-use, transit oriented downtown environment, consistent with the City's adopted guidelines for the area.

2. *That the proposed amendment to the Zoning Ordinance will be beneficial to the public health, safety or welfare.*

Criteria Satisfied. The proposed amendments will implement the vision for a walkable, mixed-use, transit oriented development. This form of development enhances public safety and welfare by promoting, alternative modes of transportation, encouraging walking and bicycling, minimizing the need for automobile based travel and reducing the production of greenhouse gas emissions. The proposed amendments provide additional regulatory control within the DDAZ and strengthen the City's ability ensure that the public health, safety and welfare benefits of mixed-use, transit oriented development are realized.

3. *That with the proposed zoning and/or amendment adequate and available sites remain (refer to the quantified housing objectives in the city's housing element of the general plan) to mitigate the loss of residential density on the subject property to accommodate the city's "fair share" regional housing needs used by the State Department of Housing and Development in determining compliance with Housing Element Law pursuant to Government Code Section 65863(b).*

Criteria Satisfied. The proposed amendments implement the approved PDA and do not amend or affect the existing residential density on the subject property.

Section 4. Adoption. The City Council hereby amends the Zoning Map as shown in **Exhibit 1** and amends Chapter 17.06, Article XIII, by deleting Article XIII and replacing it with the proposed text amendments attached hereto as **Exhibit 2, Exhibit 3 and Exhibit 4.**

Section 5. Severability. The City Council hereby declares that every section, paragraph, sentence, clause, and phrase of this ordinance is severable. If any section, paragraph, sentence, clause or phrase of this ordinance is for any reason found to be invalid or unconstitutional, such invalidity, or unconstitutionality shall not affect the validity or constitutionality of the remaining sections, paragraphs, sentences, clauses, or phrases.

Section 6. Effective Date. This ordinance shall be in full force and effective 30 days after its adoption, and shall be published and posted as required by law.

Section 7. Publication. The City Clerk is directed to cause this ordinance to be published in the manner required by law.

This Ordinance was introduced by the Council of the City of Rohnert Park on November 13, 2018 and DULY AND REGULARLY ADOPTED on November 27, 2018, by the following Roll Call Vote:


AYES: Four (4) Councilmembers Ahanotu, Belforte, Mackenzie, and Mayor Stafford

NOES: None (0)


ABSENT: One (1) Vice Mayor Callinan

ABSTAIN: None (0)

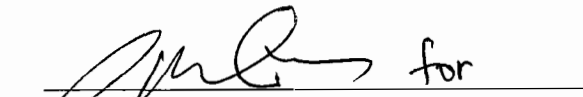
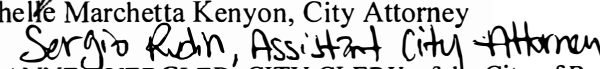
CITY OF ROHNERT PARK


Pam Stafford, Mayor

ATTEST:


JoAnne M. Buergler, City Clerk

APPROVED AS TO FORM:

 for
Michelle Marchetta Kenyon, City Attorney
 Sergio Rubin, Assistant City Attorney

I, JOANNE BUERGLER, CITY CLERK of the City of Rohnert Park, California, do hereby certify that the foregoing Ordinance was duly adopted and passed at a regular meeting of the City Council on the 27th day of November, 2018 by the following vote:

AYES: Four (4) Councilmembers Ahanotu, Belforte, Mackenzie, and

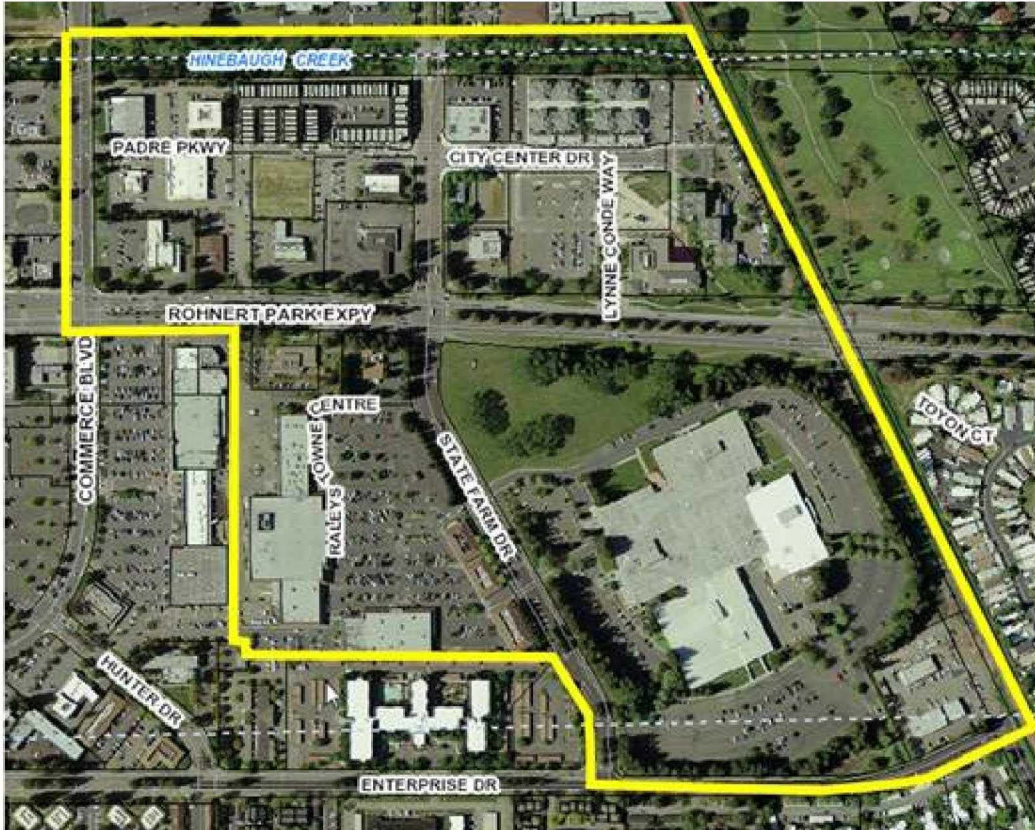
NOES: Mayor Stafford
None (0)

ABSENT: One (1) Vice Mayor Callinan

ABSTAIN: None (0)

PC Resolution 2018-42

Exhibit 1



Chapter 17.06, Article XIII: Downtown District Amenity Zone (DDAZ) Overlay Districts

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Section 17.06.700: Introduction

17.06.700.A: General Provisions

17.06.700.A.1. Purpose and Intent

The Downtown District Amenity Zone Form-Based Code Overlay (DDAZ FBC Overlay) is established to implement the 2015 Central Rohnert Park Priority Development Area (PDA) Plan's vision to create an attractive and vibrant mixed-use downtown for the heart of Rohnert Park. It provides regulations that govern the form, use, and character of private development, as well as public realm elements including thoroughfares and civic spaces. This Chapter responds to the PDA Plan's guidance to support the development of a mixed-use downtown core that is attractive, vibrant, walkable, and transit-oriented.

17.06.700.A.2. Applicability

- a. The standards and procedures of this Chapter will be applied to any development within the boundaries of the DDAZ FBC Overlay as shown on the City of Rohnert Park Zoning Map when one or more of the following occur:
 - (1) The project requires new or modified vehicular access to the site;
 - (2) The project includes new construction of 2,000 sf or greater;
 - (3) The project includes addition(s) over 10% or renovations of over 50% of existing gross floor area of the building;
 - (4) All or part of the project site lies within the Station Center Planned Development (P-D) Zoning district.
- b. For developments greater than 2 acres in size, and/or requiring new or modified thoroughfares, the standards in [Section 17.06.710.A \(General to Walkable Neighborhood Design\)](#) apply.
- c. For any project site zoned with the Planned Development or Station Center Planned Development (P-D) zoning district, the standards and procedures of this Chapter must be utilized instead of the specific development standards described in [17.06.210.B \(General Provisions\)](#).

17.06.700.A.3. Relationship to Central Rohnert Park Priority Development Area Plan

While the Priority Development Area (PDA) Plan establishes a series of land use designations and design guidelines for the DDAZ area, this Chapter establishes a series of Zones (DDAZ zones) that implement the land use goals and policies of the PDA Plan and standards and allowable land uses in these Zones as described in [Section 17.06.720 \(Specific to Zones\)](#). Standards include, but are not limited to, the layout of thoroughfares, blocks, and civic spaces, the placement and mass, height, and bulk of buildings, and the design of frontages and building types.

The PDA Plan provides non-regulatory guidance for community character, architectural style, lighting, paving, loading and service, building massing, materials, colors, finishes, sustainable design, common facilities, street furnishings, fencing, walls, and entry monuments.

In the event of any conflict between the standards of this Chapter and the standards and guidelines in the PDA Plan, the standards in this Chapter shall govern.

17.06.700.A.4. Relationship to Other City Ordinances and Laws

- a. If a provision of this Chapter is inconsistent with another provision of [Title 17 \(Zoning\)](#) of the Rohnert Park Municipal Code, or with a provision found in other adopted codes or ordinances of the City, the more restrictive provision shall govern, unless the terms of the more restrictive provision specify otherwise.
- b. Relationship to [Article XV \(Form-Based Codes for Special Areas\)](#)

As a Form-Based Code, this chapter utilizes terms found and defined in [Article XV \(Form-Based Codes for Special Areas\)](#), however the standards found in [Article XV](#) do not apply within the DDAZ area.

- c. Relationship to Design Guidelines
The Rohnert Park Design Guidelines for Commercial, Mixed-use, and Multifamily Buildings apply as a supplement to the design guidance found in the PDA Plan. In the event of any conflict between the Design Guidelines and the guidelines found in the PDA Plan, the PDA Plan shall apply.

17.06.700.A.5. How to Use the DDAZ Overlay

[Figure 17.06.700.A.5.a](#) provides an overview describing how to use the regulations in this Chapter.

Figure 17.06.700.A.5.a: Quick Code Guide for Downtown District Amenity Zone Form-Based Code Overlay

Step	Instructions	Code	Title
1	Find the zone(s) for your parcel		Rohnert Park Zoning Map
2	If the site is larger than two acres, or creates new thoroughfares and/ or significantly modifies existing right of way, comply with the standards for walkable neighborhood design, including thoroughfares and civic spaces	17.06.710	Walkable Neighborhood Design
3	Comply with the standards specific to your zone(s)	17.06.720	Specific to Zones
4	Comply with the supplemental regulations for height and parking	17.06.730	Supplemental to Zones
5	Choose and comply with the standards specific to your building type(s)	17.06.730.B	Specific to Building Types
6	Choose and comply with the standards specific to your frontage type(s)	17.06.730.C	Specific to Private Frontages
7	Review and comply with applicable Design Guidelines in the Central Rohnert Park PDA Plan and the City of Rohnert Park Design Guidelines for Commercial, Mixed-use and Multifamily Buildings		
8	Follow the procedures and comply with the requirements for permit application(s) as applicable	17.06.740	Permits and Procedures

17.06.710: Walkable Neighborhood Design

17.06.710.A: General to Walkable Neighborhood Design

17.06.710.A.1 Purpose and Applicability

This Section sets forth standards for walkable neighborhood design and is applicable to development sites greater than 2 acres in size, and/or requiring new or modified thoroughfares.

17.06.710.A.2 Walkable Urban Community Design

The project area shall be designed in compliance with the following process and requirements:

a. **Organization**

- (1) The project area shall consist of a walkable neighborhood design that:
 - (i) Organizes a block and thoroughfare network in compliance with the standards in [Subsections b and c](#), using the allowed thoroughfare types in [17.06.710.C \(Thoroughfare Standards\)](#);
 - (ii) Allocates civic spaces in compliance with the standards in [17.06.710.B.1 \(Design of Civic and Open Spaces\)](#);
 - (iii) Provides a mix of primary building types allowed by the zone(s);
 - (iv) Provides appropriate physical transitions to the scale and character of the surrounding area;
 - (v) Suits specific environmental, site layout, and design constraints unique to the site or its location;
 - (vi) Identifies the proposed blocks and thoroughfares, transect zones, civic space types, and building types on a project regulating plan per [17.06.740 \(Permits and Procedures\)](#); and
 - (vii) Identifies the proposed physical character of the walkable neighborhood design on a project illustrative plan by showing the typical buildings and roofs on each block in plan view and the proposed trees and landscaping along streets and in civic spaces.

- b. **Thoroughfares.** Thoroughfares define the streets that refine large sites into walkable urban environments and provide multiple routes for vehicular circulation.

(1) **Design**

- (i) Thoroughfares shall meet the standards established in [17.06.710.C \(Thoroughfare Standards\)](#).
- (ii) The thoroughfare network shall be mapped on the project regulating plan and shall indicate a layout of thoroughfares and blocks in compliance with standards in this Subsection. The location of thoroughfares is flexible provided that the standards in Subsection B and Table 17.06.710.A.2.a (Block Size) are met.

(2) **External Connectivity**

- (i) The arrangement of thoroughfares shall provide for the alignment and continuation of existing or proposed thoroughfares into adjoining lands where the adjoining lands are undeveloped and intended for future development, or where the adjoining lands are developed and include opportunities for such connections.
- (ii) Thoroughfare rights-of-way shall be extended to or along adjoining property boundaries to provide a roadway connection or thoroughfare stub for development in compliance with the standards in [Subsection c \(Block Size\)](#).
- (iii) The project regulating plan shall identify all stubs for thoroughfares and include a notation that all stubs shall connect with future thoroughfares on adjoining undeveloped property.
- (iv) Dead-end streets and cul-de-sacs are not allowed.

c. **Block Size**

- (1) Individual block faces and the total block perimeter shall meet the standards established in [Table 17.06.710.A.2.a \(Block Size\)](#). For minor modifications refer to [Section 17.06.740 \(Permits and Procedures\)](#) in [Table 17.06.740.C.2.a](#)
- (2) Blocks shall be a minimum width, to result in two tiers of developable design sites that comply with the allowed building types in the zone(s).

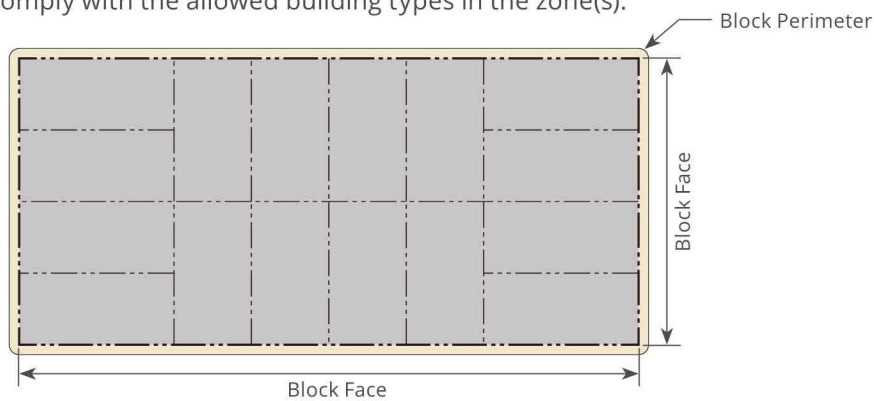
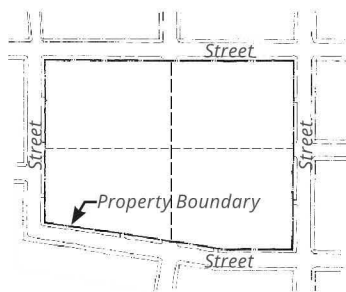


Table 17.06.710.A.2.a: Block Size	
Perimeter Length	2,000 ft. max.
Block Face Length	600 ft. max.

Figure 17.06.710.A.2.a: Walkable Neighborhood Design Process

1 Blocks

Step 1: Subdivide project area to create smaller blocks and a network of interconnected streets (See Table 17.06.710.A.2.a).



2 Streets/Civic Space

Step 2: Select from allowable thoroughfare types listed in Section 17.06.710.C. Identify at least 10% of the project area as new civic space. 10% is calculated after subtracting thoroughfare R.O.W.s. Select and place civic space types per standards in Section 17.06.710.B (Civic Space Standards).



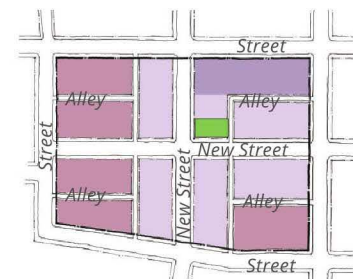
3 Alleys

Step 3: Introduce alleys to provide access to design sites and maintain a continuous streetscape without the interruption of driveways.



4 DDAZ Zones

Step 4: Apply DDAZ zones to implement the intended physical character, in compliance with Section 17.06.720.A.4 (Regulating Plan).



- Downtown Neighborhood
- Downtown Main Street
- Downtown Core

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17.06.710.B: Civic Space Standards

17.06.710.B.1 Design of Civic and Open Spaces

This Section sets forth the standards applicable to existing and new civic spaces and civic buildings. These standards supplement the standards for each transect zone. Civic space is land that is improved for civic gathering purposes per one of the allowed types in this section. For each civic space type, a description, a statement of the type's intent, and design standards are provided. These standards are intended to ensure development that establishes or reinforces the intended character and scale of the DDAZ.

a. **Civic Space Allocation**

- (1) The development shall set aside a minimum of 10 percent of the project area as civic space using the types allowed in DDAZ zones. The 10 percent shall be calculated after street rights-of-way are subtracted from the project area.
- (2) The required amount of civic space shall be distributed throughout the neighborhood. Neighborhood means the area approximately within 1,500 feet of the site that is also not separated by freeway or railroad.

b. **Building Frontage.** The relationship along property lines of a civic space to adjacent buildings and design sites shall be regulated as follows:

- (1) The facades on design sites attached to or across a thoroughfare from a civic space shall be designed as a "front" on to the civic space for at least three quarters of the civic space perimeter, in compliance with the allowed frontages.

c. **Public Access.** Public access and visibility along public parks, civic uses, and natural open spaces, including creeks and drainages, shall be maintained through the use of:

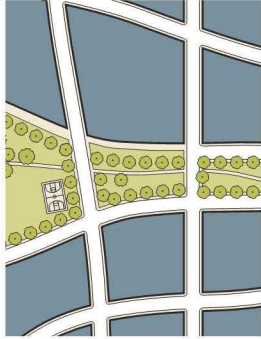
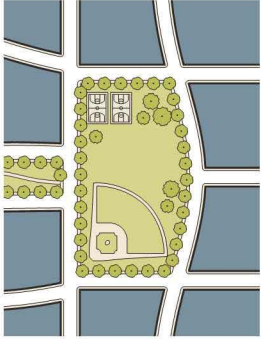
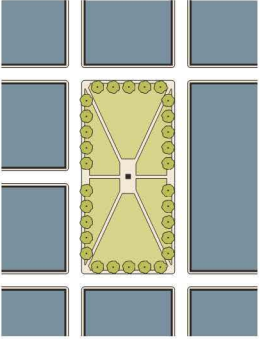
- (1) Single-loaded frontage streets (those with development on one side and open space on the other);
- (2) Houses that front directly onto a bike or pedestrian path along the natural open space.
- (3) Other methods of frontage that provide similar access and visibility to the open space appropriate in the transect zone.

d. **Accessory Structure Standards.** Accessory structures within civic spaces, including, but not limited to, restrooms, open-air pavilions, gazebos, picnic shelters and outdoor theaters, are subject to the applicable standards of the zone in [Section 17.06.720 \(Specific to Zones\)](#).

17.06.710.B.2 Civic Space Types

- a. [This Section](#) identifies the allowed civic space types in DDAZ zones.
- b. **Civic Space Types.** Multiple civic space types are defined in [Table 17.06.710.B.2.a \(Civic Space Type Overview\)](#). Two of the civic space types, [Playgrounds](#) and [Community Gardens](#), may be incorporated into any of the other types or may stand alone. The illustration and description of each civic space type are illustrative and not regulatory.
- c. **Location and Size.** The service area, size, frontage, and disposition of standards of each civic space type are regulatory.
 - (1) **Service Area.** Describes how the civic space relates to the city as a whole and the intended area to be served by the civic space.
 - (2) **Size.** The overall range of allowed sizes of the civic space. The minimum size of the civic space may be adjusted per the procedures in [Table 17.06.740.C.2.a \(Minor Modifications\)](#).
 - (3) **Character.** Civic spaces shall be designed and furnished to be consistent with the character of the zone in which they are located. Such consistency may require accessory structures to maintain building setbacks, frontage, massing, disposition and character similar to adjacent development as determined by the [Director](#).
 - (4) **Disposition of Elements.** The placement of objects within the civic space.
 - (i) **Natural.** Civic spaces with natural character shall be designed in a natural manner with no formal arrangement of elements.
 - (ii) **Formal.** Civic spaces with a formal character shall be designed in a more rigid layout that follows geometric forms and has trees and other elements arranged in formal patterns.
 - (iii) **Informal.** Civic spaces with an informal character shall be designed to have a mix of formal and natural characteristics.
- d. **Typical Facilities.** Each type identifies the allowed types of accessory structures provided within the civic space. This list is not intended to be a complete list of structures allowed nor is it intended that every civic space contain each of the structures listed. Proposed structures larger than the indicated gross square footage (gsf) require review and approval by the [Director](#).
- e. The civic spaces specified in [Table 17.06.710.B.2.a \(Civic Space Type Overview\)](#) are allowed as follows:
 - (1) **Allowed.** Allowed if in compliance with the standards.
 - (2) **By Director.** Allow as determined by the Director
 - (3) **Not Allowed.** The type is not allowed in the transect zone.

Table 17.06.710.B.2.a Civic Space Type Overview

Transect Zone	D-N	D-MS	D-C	D-N	D-MS	D-C	D-N	D-MS	D-C
	Hinebaugh Creek Greenway			Small Neighborhood Park			Community Plaza		
Illustration									
Description	A linear open space that may follow natural corridors providing unstructured and limited amounts of structured recreation.			Open space available for unstructured and limited amounts of structured recreation, serving the immediate neighborhood. Appropriate civic elements, fountains, benches			A formal open space available for civic purposes and commercial activities. Plazas are typically hardscaped, detached, and located at the intersection of important streets.		
Location and Size									
Location	Service Area			Neighborhood			Neighborhood		
Size	Minimum			4,000 sf			0.5 acre		
	Maximum			-			2 acres		
Character	Frontage			Independent or Building			Building		
	Disposition of Elements			Natural or Informal			Formal		
Typical Facilities									
	Passive and Active Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails			Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails			Passive Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails		

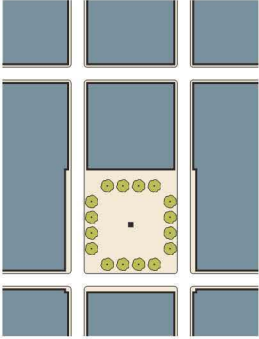
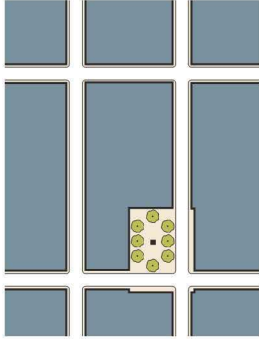
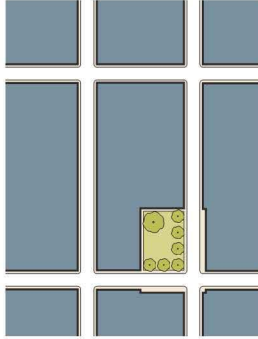
Key

T# Allowed

T# By Director

T# Not Allowed

Table 17.06.710.B.2.a Civic Space Type Overview (continued)

Transect Zone	D-N D-MS D-C			D-N D-MS D-C			D-N D-MS D-C		
	Neighborhood Square			Pocket Plaza			Pocket Park		
Illustration									
Description	An open space available for civic purposes, unstructured and limited amounts of structured recreation. Square can be attached.			A formal open space available for civic purposes and commercial activities. Pocket Plazas are typically hardscaped.			An open space available for informal activities in close proximity to neighborhood residences.		
Location and Size									
Location	Neighborhood			Neighborhood			Neighborhood		
Size	1/4 acre			1,600 sf			1,600 sf		
	2 acres			4,000 sf			4,000 sf		
Character	Building			Building			Building		
	Formal			Formal			Formal or Informal		
Typical Facilities									
	Passive and Active (unstructured or structured) Recreation, Accessory Structure, Drinking Fountains, Community Facility < 5,000 gsf, Paths and Trails			Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails			Passive Recreation, Accessory Structure, Drinking Fountains, Paths and Trails		

Key

T# Allowed

T# By Director

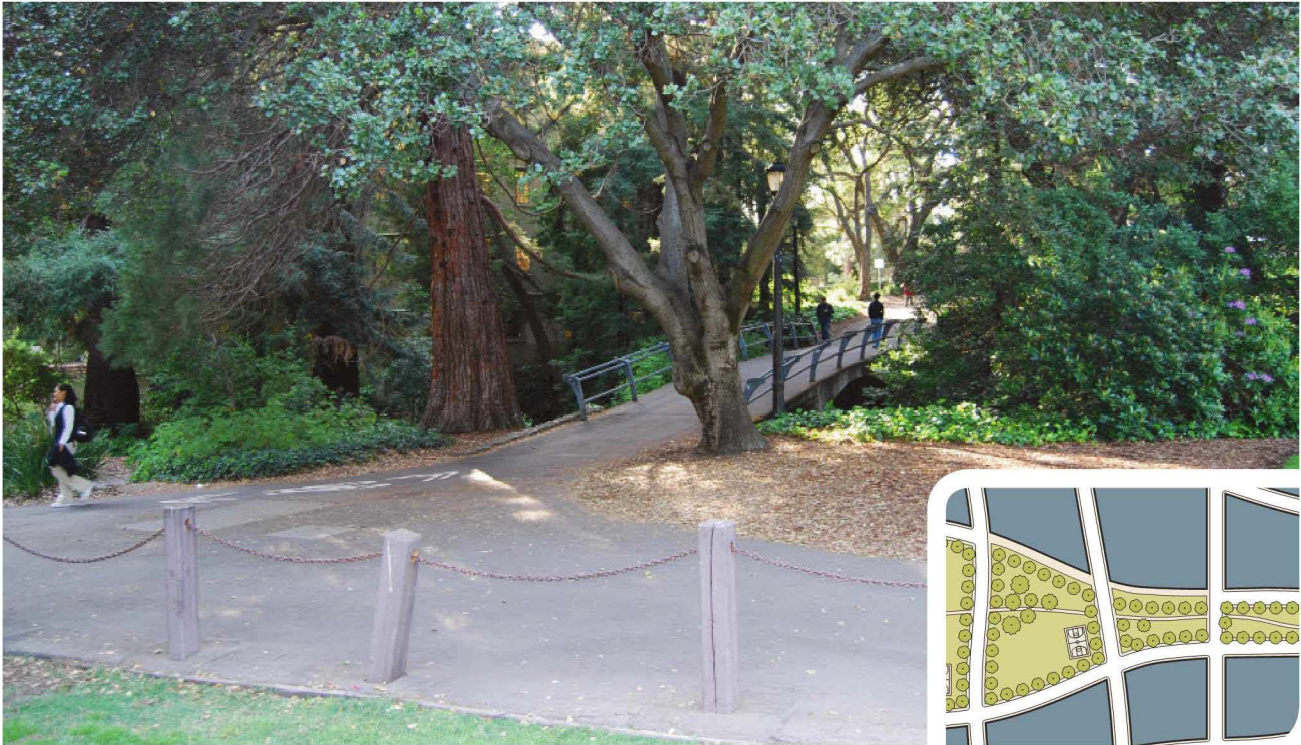
T# Not Allowed

Table 17.06.710.B.2.a Civic Space Type Overview (continued)

Transect Zone	D-N D-MS D-C			D-N D-MS D-C			D-N D-MS D-C		
	Playground			Community Garden			Attached Green		
Illustration									
Description	An open space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds may be included within other civic spaces.			An open space designed as a grouping of garden plots that are available to nearby residents for small-scale cultivation. Community Gardens may be included within other civic spaces.			A well-landscaped corridor that provides a consistent landscaped frontage and trail access. Units adjacent to attached green must front onto green for improved safety.		
Location and Size									
Location									
Service Area	Neighborhood			Neighborhood			Neighborhood		
Size									
Minimum	-			-			-		
Maximum	-			-			-		
Character									
Frontage	Independent or Building			Independent or Building			Independent or Building		
Disposition of Elements	Formal or Informal			Formal or Informal			Informal		
Typical Facilities									
	Accessory Structure, Drinking Fountains, Paths and Trails			Accessory Structure, Drinking Fountains, Paths and Trails			Accessory Structure, Drinking Fountains, Paths and Trails		

Key **T#** Allowed **T#** By Director **T#** Not Allowed

17.06.710.B.2.a Hinebaugh Creek Greenway



A. Description

Linear space for strolling by nearby residents and employees. Greenways can serve an important role as a green connector between destinations. Appropriate civic elements, community facility < 5,000 G.S.F., fountains, benches, trails. Service area: Multiple Neighborhoods

B. General Character

Informal
 Hardscape path
 Spatially defined by adjacent buildings

C. Size and Location

Min. 2 acres
 Min. Width = 50 ft.

D. Typical Uses

Passive recreation Walking/Running
 Formal or informal seating

General Note: Images on this page are illustrative, not regulatory.

17.06.710.B.2.b Small Neighborhood Park



A. Description

Open space available for unstructured and limited amounts of structured recreation, serving the immediate neighborhood. Appropriate civic elements, fountains, benches. The is intended to be smaller than a typical neighborhood park fit within downtown.

B. General Character

Informal or formal

Primarily planted areas with paths to and between recreation areas and civic buildings

Spatially defined by tree-lined streets and adjacent buildings

C. Size and Location

Min. 4,000 sq. ft.

Min. Depth = 60 ft.

Min. Width = 60 ft.

D. Typical Uses

Unstructured passive and active recreation

Civic uses

Temporary commercial uses

General Note: Images on this page are illustrative, not regulatory.

17.06.710.B.2.c Community Plaza



General Note: Images on this page are illustrative, not regulatory.

A. Description

Community-wide focal point primarily for civic purposes and commercial activities. Plazas are typically hardscaped with planting as accents. Commercial activities are subordinate to Civic activity. Appropriate civic elements, community facility < 5,000 G.S.F., fountains, benches. Service area: Multiple Neighborhoods. Plazas should be located at the intersection of important streets.

B. General Character

- Formal, urban
- Combination of hardscaped & planted areas in formal patterns
- Spatially defined by buildings and tree-lined streets
- Detached Civic element provided

C. Size and Location

Min. 1 acre	Max. 4 acres
Min. Depth = 80 ft.	Min. Width = 150 ft.

D. Typical Uses

- Civic uses
- Commercial uses in support of civic uses
- Passive recreation

17.06.710.B.2.e Pocket Plaza



General Note: Images on this page are illustrative, not regulatory.

A. Description

Small-scale, open space available for civic purposes and commercial activity, intended as intimate spaces for seating or dining into which commercial and neighborhood activity may spill. Pocket plazas can also be used to create a formal space in front of a prominent building entrance. Appropriate civic elements, community facility < 1,000 G.S.F., fountains, benches. Service area: Neighborhood

B. General Character

- Formal, urban
- Primarily hardscape with landscape accents
- Spatially defined by building frontages and upper story facades
- Trees and shrubs optional. Can be attached.

C. Size and Location

Min. 1,600 sq. ft.	Max. 4,000 sq. ft.
Min. Depth = 40 ft.	Min. Width = 40 ft.

D. Typical Uses

- Civic activity
- Commercial in support of civic activity
- Casual seating and/or outdoor dining

17.06.710.B.2.f Pocket Park



General Note: Images on this page are illustrative, not regulatory.

A. Description

Small-scale open space, serving the immediate neighborhood, available for informal activities in close proximity to neighborhood residences. Appropriate civic elements, community facility < 200 sq. ft. Service area: Neighborhood

B. General Character

Formal or informal, urban

Combination of planted areas and hardscape

Spatially defined by building frontages and adjacent street trees

Walkways along edges or across space

Civic element provided

C. Size and Location

Min. 1,600 sq. ft.

Max. 4,000 sq. ft.

Min. Depth = 40 ft.

Min. Width = 40 ft.

D. Typical Uses

Civic activity

Passive recreation, casual seating. May transform to dog park, skate park, special use

Commercial uses in support of civic activity

17.06.710.B.2.g Playground



General Note: Images on this page are illustrative, not regulatory.

A. Description

Small-scale open space designed and equipped for the recreation of children. These spaces should serve as quiet, safe places protected from the street and typically in locations where children do not have to cross any major streets. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Playgrounds may be included within all other civic space types. Service area: Neighborhood

B. General Character

- Focused toward children
- Play structure, interactive art, and/or fountains
- Shade and seating provided
- Protected from traffic; fenced with minimal exits
- Spatially defined by decorative fencing and trees

C. Size and Location

Min. Depth = None Min. Width = None

D. Typical Uses

- Active and passive recreation
- Casual seating

17.06.710.B.2.h Community Garden



General Note: Images on this page are illustrative, not regulatory.

A. Description

Small-scale open space designed as a grouping of garden plots available to nearby residents for small-scale cultivation. Community gardens may be fenced to protect edible plants from wildlife and may include a small accessory structure for storage. Community gardens may be included within all other civic space types. Service area: Neighborhood

B. General Character

- Plant beds (in-ground or raised)

- Accessory structure < 2,500 sq. ft.

- Decorative fencing, when fencing present

- Spatially defined by adjacent buildings and street trees

C. Size and Location

Min. Depth = None Min. Width = None

D. Typical Uses

- Food production

- Passive recreation

17.06.710.B.2.i Attached Green



A. Description

A well-landscaped corridor that provides a consistent landscaped frontage and trail access. Units adjacent to attached green must front onto green for improved safety.

B. General Character

Continuous Planter

Accessory structure < 2,500 sq. ft.

Informal cluster of trees

Trail, 8' wide minimum

C. Size and Location

Min. Depth = 10 to 40 ft. Min. Width = none

D. Typical Uses

Passive Recreation

Walking/Running

Patio

Casual Seating

General Note: Images on this page are illustrative, not regulatory.

17.06.710.C Thoroughfare Standards

17.06.710.C.1 Purpose

- a. This [Section](#) sets forth the standards for streets appropriate for use within the DDAZ.
- b. Thoroughfares have been designed to balance the needs of pedestrians with vehicles and to establish a high-quality, pedestrian-friendly environment.

17.06.710.C.2 Applicability

- a. The standards of this section apply to the construction of a new thoroughfare in a transect zone and/or when an application for a site over 2 acres with new thoroughfares or modifications to existing thoroughfares is proposed.
- b. The standards of this section apply to existing thoroughfares as follows:
 - (1) Improvement or modification to curb return, pedestrian crossing, landscaping, or sidewalk;
 - (2) Improvement or modification to on-street parking, or lane striping;
 - (3) Improvement or modification to right-of-way;
- c. The individual standards of each thoroughfare type in this section may be adjusted administratively by the City Engineer. Subject to the following considerations. The proposed adjustment:
 - (1) Supports the intended physical character of the transect zone(s).
 - (2) Maintains multiple modes of transportation (transit, pedestrian, bicycles, automobiles).
 - (3) Predominantly maintains sidewalks of at least 6 feet wide, where feasible, on all residential streets and at least 10 feet on commercial streets where possible.
 - (4) Maintains on-street parking for a majority of each block face.
 - (5) Maintains regularly spaced street trees.
- d. Additional thoroughfare types may be developed, subject to City review and approval, using the components and standards listed below:

Table 17.06.710.C.2.a Thoroughfare Elements

Element	Code Reference
Intersections	17.06.710.C.4
Pedestrian Crossings	17.06.710.C.5

17.06.710.C.3 Movement Types and Design Speed

Movement types are intended to assist in appropriate thoroughfare design for the necessary level of pedestrian and bicyclist safety and comfort at any given location. Design speed is the primary determinant of movement type. Anticipated movement types and design speeds (along with their assigned lane widths and curb radii) are provided for each thoroughfare type in [Sub-Sections 17.06.710.C.7.a-m](#).

- a. The design criteria for Yield, Slow, and Low thoroughfares shall be commensurate with local thoroughfares. Design speeds higher than 35 mph shall not be used in areas intended to support moderate or high levels of pedestrian or bicycle activity due to concerns with pedestrian safety and comfort.

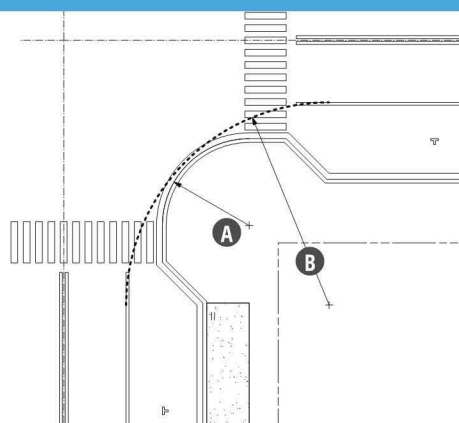
17.06.710.C.4 Intersections

The following shall be applied in the design process to all thoroughfare types with the prefix "new" and to additional types that are designed. They are already integral to the thoroughfare types not containing the prefix "new".

- Street design of narrow streets and compact intersections requires designers to pay close attention to the operational needs of transit, fire and rescue, waste collection and delivery trucks. For this reason, early coordination with transit, fire and rescue, waste collection and other stakeholder groups is essential.
- More regular encroachment of turning vehicles into opposing lanes will occur at compact intersections. Therefore, frequency of access, traffic volumes and the speeds on intersecting streets at those intersections shall be considered when designing intersections. For fire and rescue, determination of the importance of that street for community access should be determined, (e.g. primary or secondary access).
- The designer shall use turning templates or software to evaluate intersections to ensure that adequate operation of vehicles can occur. Location of on-street parking around intersections may be evaluated during this analysis to identify potential conflicts between turning vehicles and on-street parking. Bike lanes and on-street parking will increase the effective curb return radius, when curb extensions are not applied, by providing more room for the wheel-tracking of turning vehicles.
- [Table 17.06.710.C.4.a.](#) provides standards for the curb radius when improving existing intersections or designing new intersections.

Table 17.06.710.C.4.a: Curb Radius

Movement Type (From Subsection A of 17.06.710.C.7 Thoroughfare Types)	Design Speed	Effective Curb Radius	
		A	B
Yield	<20 mph	10'	25'
Slow	20-25 mph	10' - 15'	25' - 35'
Low	30-35 mph	20'-25'	50' - 60'

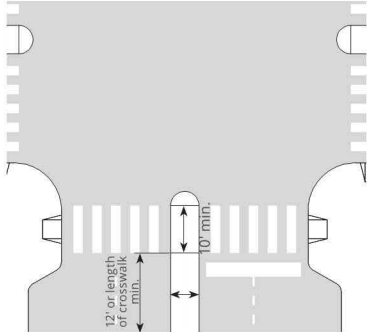
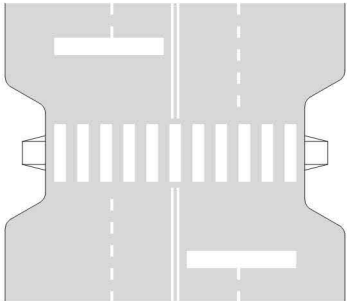


Endnotes

¹This Table provides the allowed curb radius range by movement type and speed. The dimensions above require the provision of an effective curb radius that meets the needs of fire and emergency access.

17.06.710.C.5 Pedestrian Crossings

The following shall be applied in the design process for improvements to existing streets in DDAZ zones and in the design of new streets for large sites as defined in [Section 17.06.710.C.2 \(Applicability\)](#).

Table 17.06.710.C.5.a: Pedestrian Crossings	
Type	Description
Directional Curb Ramps	Diagonal corner ramps are preferred when feasible. When not feasible, perpendicular corner curb ramps with a separate ramp installed in each direction shall be used.
Crosswalks	Crosswalks shall be designed per the city's applicable standards and applicable State/County guidelines and standards.
Medians	<p>Medians, where provided, shall provide a median refuge at the intersection. At signalized intersections, median refuges shall not be used to stage pedestrians. Pedestrians shall be accommodated to get entirely across the roadway.</p> 
Mid-block Crossings	<p>Mid-block crossings, where provided, require approval of the City Engineer and shall have mid-block curb extensions and crossing signals.</p> 

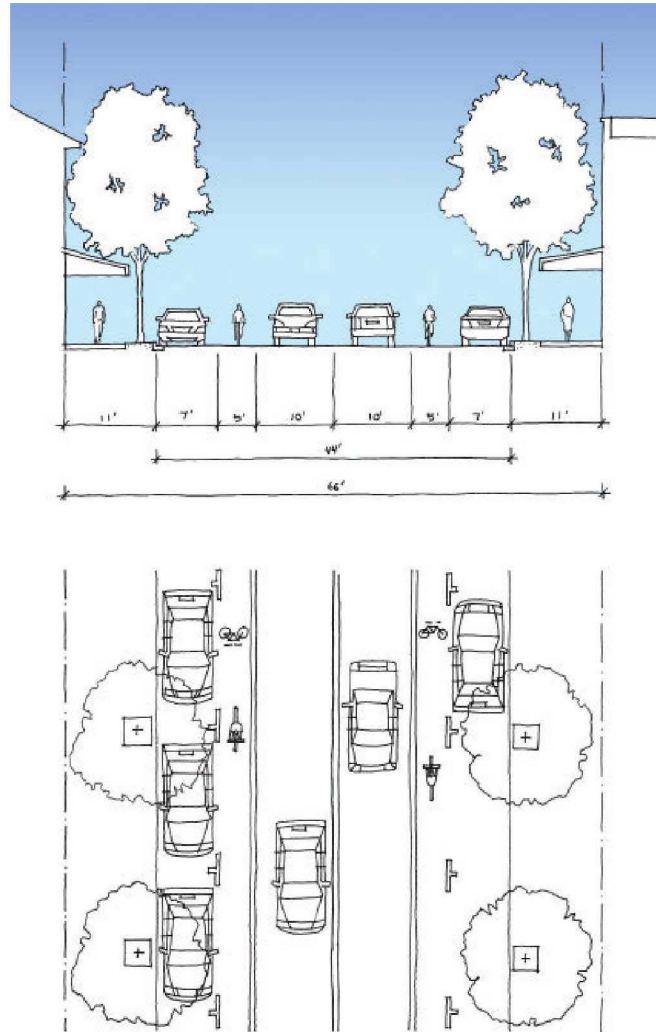
17.06.710.C.6 Supplemental Standards to Thoroughfares

- a. Tree grates are required in street tree wells and they are to match the existing tree grates on City Center Drive.
- b. Structural soil mix or Silva Cells are required underneath all street tree wells according to city standards. Size is to be minimum 2' depth by minimum 6' square and the top 12" edge of the pit is to be lined with a root barrier.
- c. Allowed street trees are listed in [Table 6.2 of the PDA](#).
- d. Lighting shall be installed according to city standards or as otherwise approved by the City Engineer.

17.06.710.C.7 Thoroughfare Types

[Sub-Sections 17.06.710.C.7.a through 17.06.710.C.7.m](#) illustrate allowed thoroughfares for use in the DDAZ.

17.06.710.C.7.a Commercial Street - Bikeway



A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	66'
Curb-to-Curb Width	44'

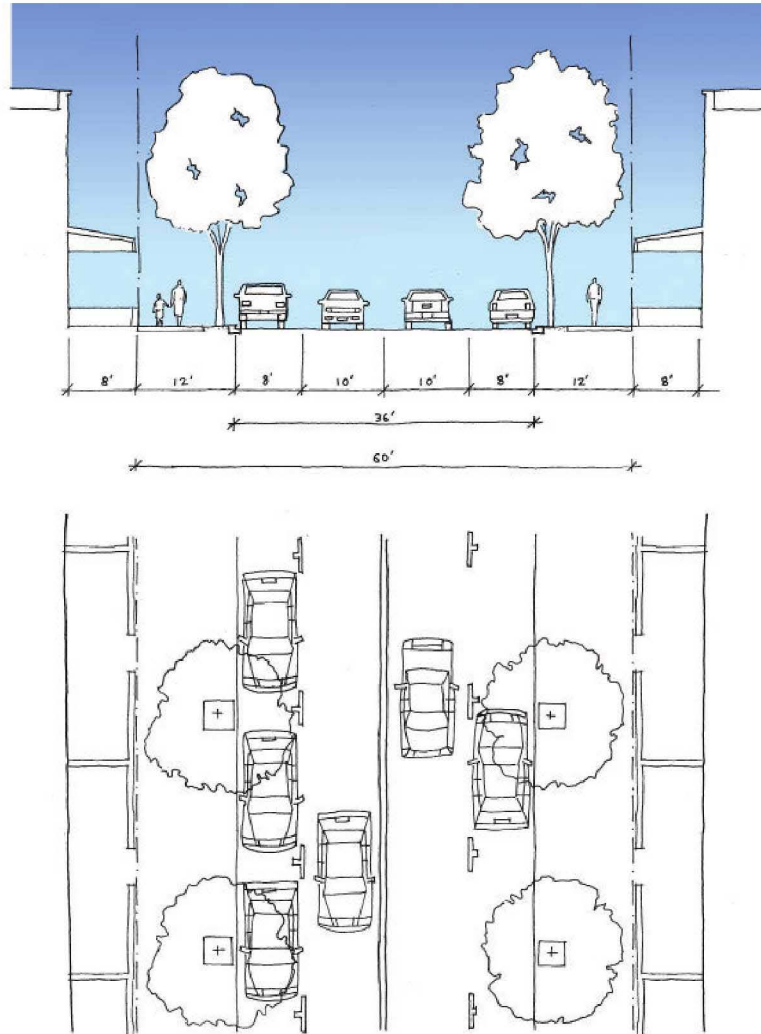
C. Lane Assembly

Traffic Lanes	2 @ 10' (minimum)
Bicycle Lanes	2 @ 5'
Parking Lanes	2 @ 7'
Median/Turn Lanes	none

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	11' min.
Curb Type	Square

17.06.710.C.7.b Commercial Street - Typical



A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	60'
Curb-to-Curb Width	36'

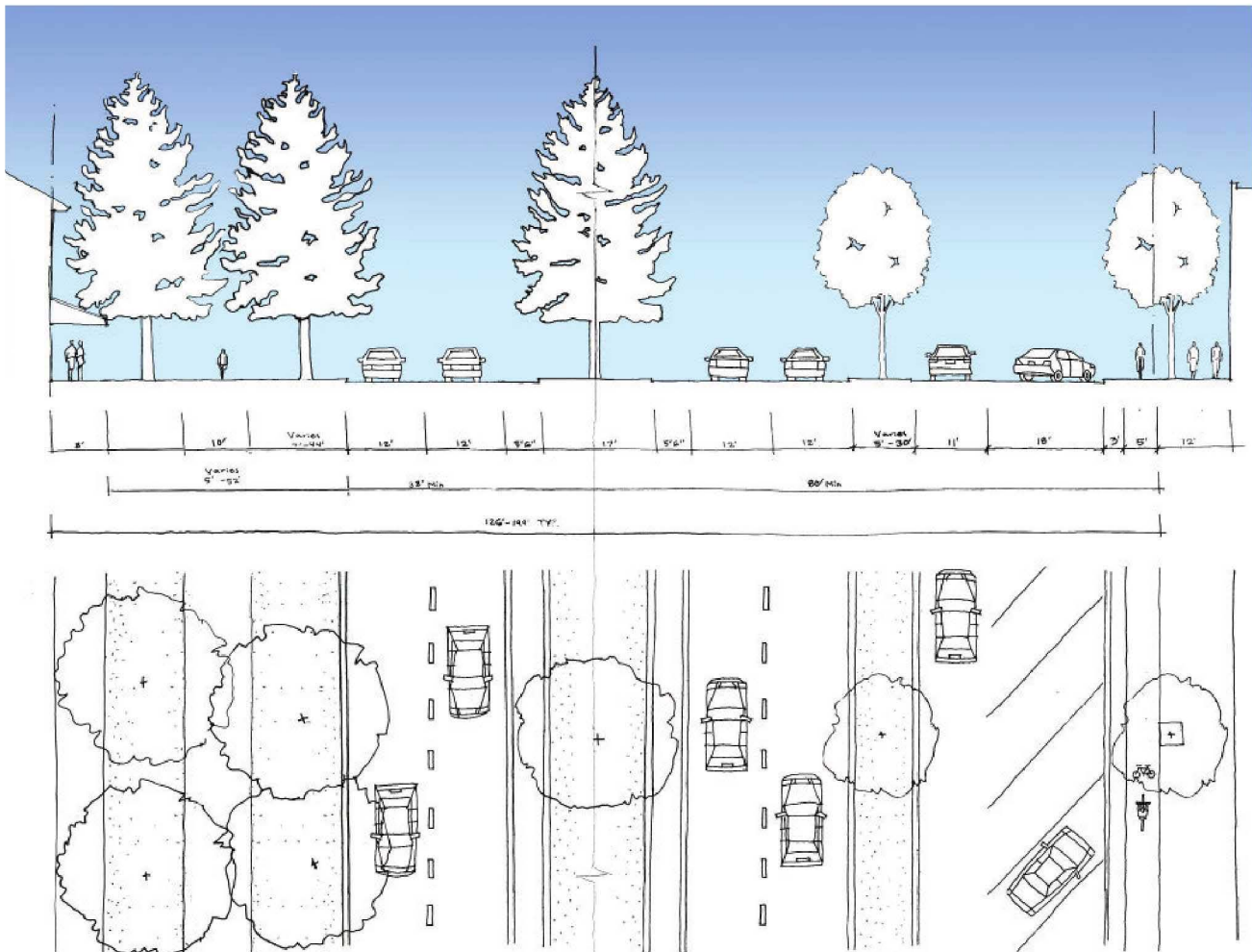
C. Lane Assembly

Traffic Lanes	2 @ 10' (minimum)
Bicycle Lanes	none
Parking Lanes	2 @ 8'
Median/Turn Lanes	none

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	12' min.
Curb Type	Square

17.06.710.C.7.c Rohnert Park Expressway (Option 1)



A. Application

Street Type	Multiway Boulevard
Movement Type	
Center Lanes	Low
Slip Lanes	Slow
Design Speed	
Center Lanes	35 mph
Slip Lanes	25 mph

B. Overall Widths

Right-of-Way (ROW) Width	Varies 126'-199'
Curb-to-Curb Width	Varies 114'-139'

Note: The City Engineer may approve deviations from the typology's dimensions and configuration of elements.

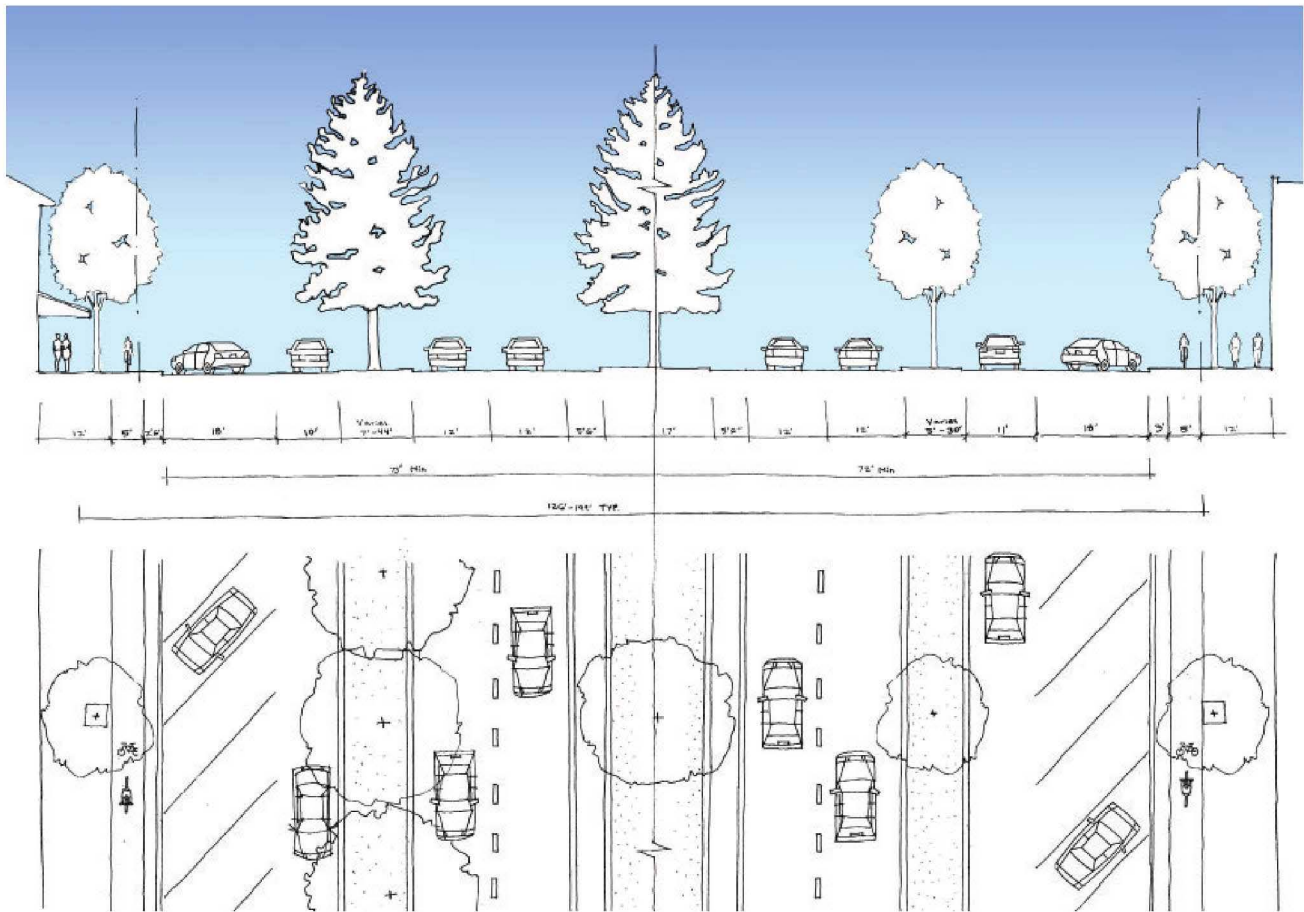
C. Lane Assembly

Traffic Lanes	4 @ 12'; 1 slip lane @ 10' (minimum)
Bicycle Lanes	1 @ 5' with 2' buffer
Parking Lanes	1 @ 18' (angled parking)
Median/Turn Lanes	1 @ 17'; 1 varies 5'-30'

D. Public Frontage Assembly

Frontage Type	Boulevard
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	8' min.
Curb Type	Square

17.06.710.C.7.c Rohnert Park Expressway (Option 2a)



A. Application

Street Type	Multiway Boulevard
Movement Type	
Center Lanes	Low
Slip Lanes	Slow
Design Speed	
Center Lanes	35 mph
Slip Lanes	25 mph

B. Overall Widths

Right-of-Way (ROW) Width	Varies 126'-199'
Curb-to-Curb Width	Varies 114'-139'

Note: The City Engineer may approve deviations from the typology's dimensions and configuration of elements.

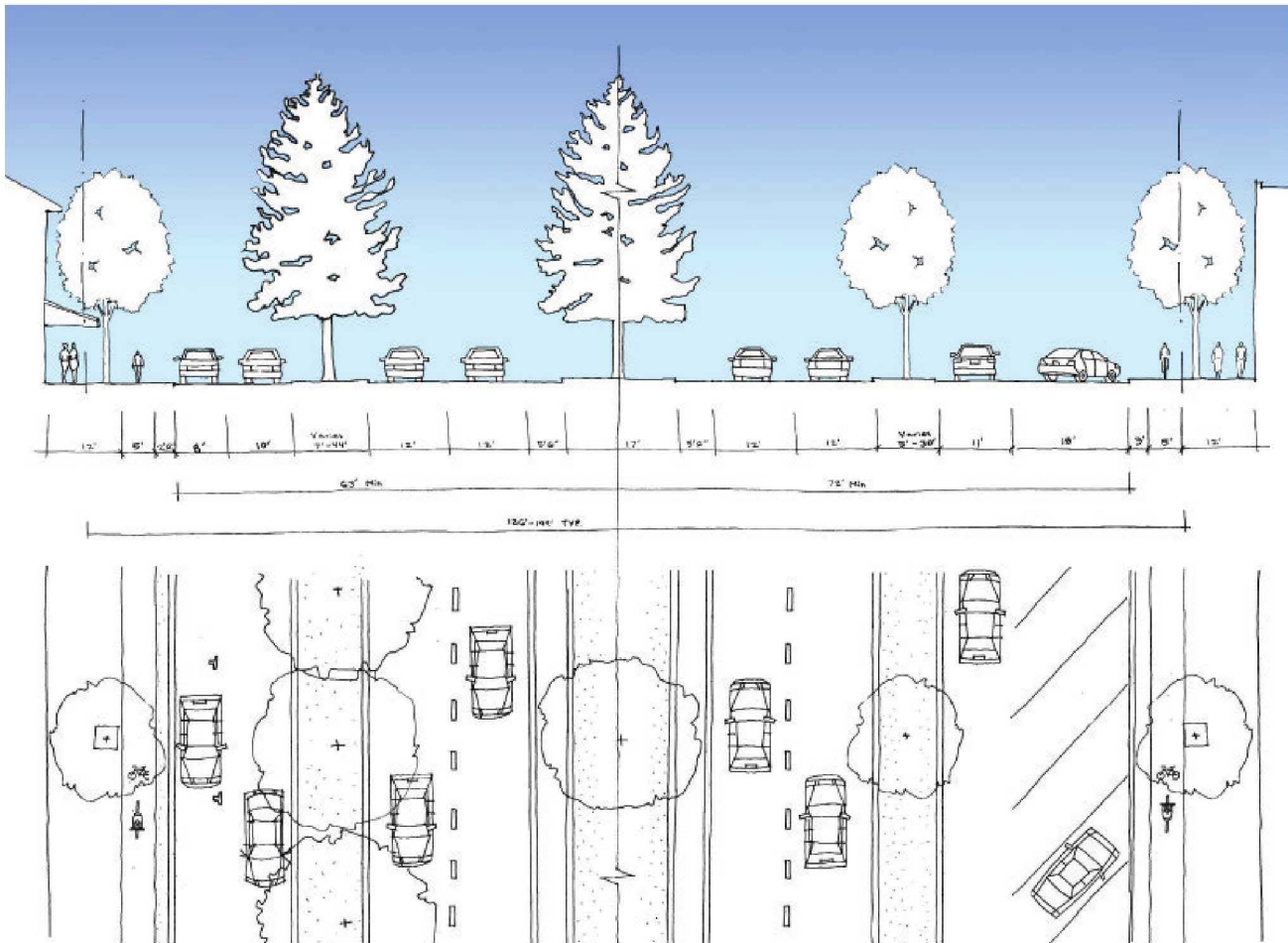
C. Lane Assembly

Traffic Lanes	4 @ 12'; 2 slip lanes @ 10' (minimum)
Bicycle Lanes	2 @ 5' with 3' buffer
Parking Lanes	2 @ 18' (angled parking)
Median/Turn Lanes	1 @ 17'; 1 varies 5'-30'

D. Public Frontage Assembly

Frontage Type	Boulevard
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	12' min.
Curb Type	Square

17.06.710.C.7.c Rohnert Park Expressway (Option 2b)



A. Application

Street Type	Multiway Boulevard
Movement Type	
Center Lanes	Low
Slip Lanes	Slow
Design Speed	
Center Lanes	35 mph
Slip Lanes	25 mph

B. Overall Widths

Right-of-Way (ROW) Width	Varies 126'-199'
Curb-to-Curb Width	Varies 114'-139'

Note: The City Engineer may approve deviations from the typology's dimensions and configuration of elements.

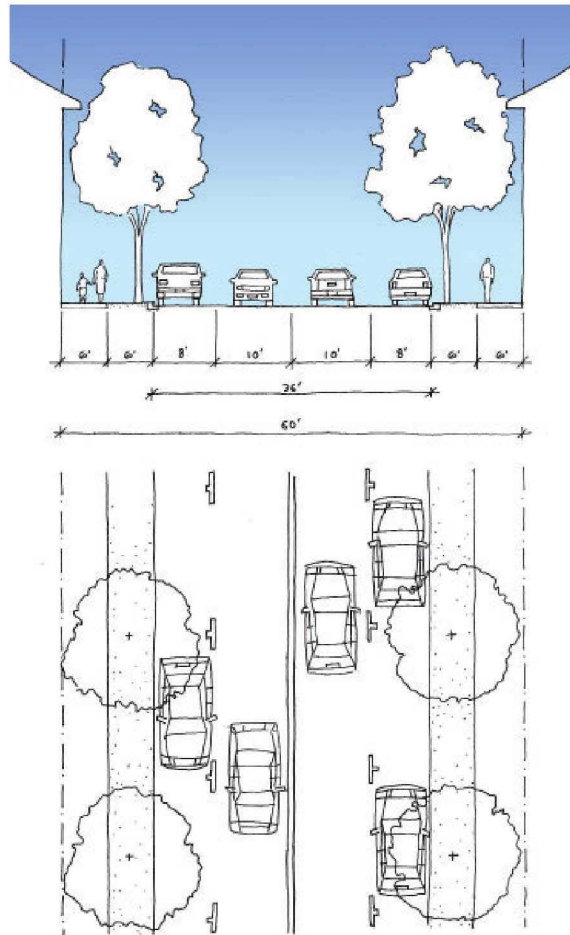
C. Lane Assembly

Traffic Lanes	4 @ 12'; 2 slip ln. @ 10' (min.)
Bicycle Lanes	2 @ 5' with 2'-6" and 3' buffer
Parking Lanes	1 @ 8' (parallel parking); 1 @ 18' (angled parking)
Median/Turn Lanes	1 @ 17'; 1 varies 5'-30'

D. Public Frontage Assembly

Frontage Type	Boulevard
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	12' min.
Curb Type	Square

17.06.710.C.7.d Residential Street - Typical



A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	60'
Curb-to-Curb Width	36'

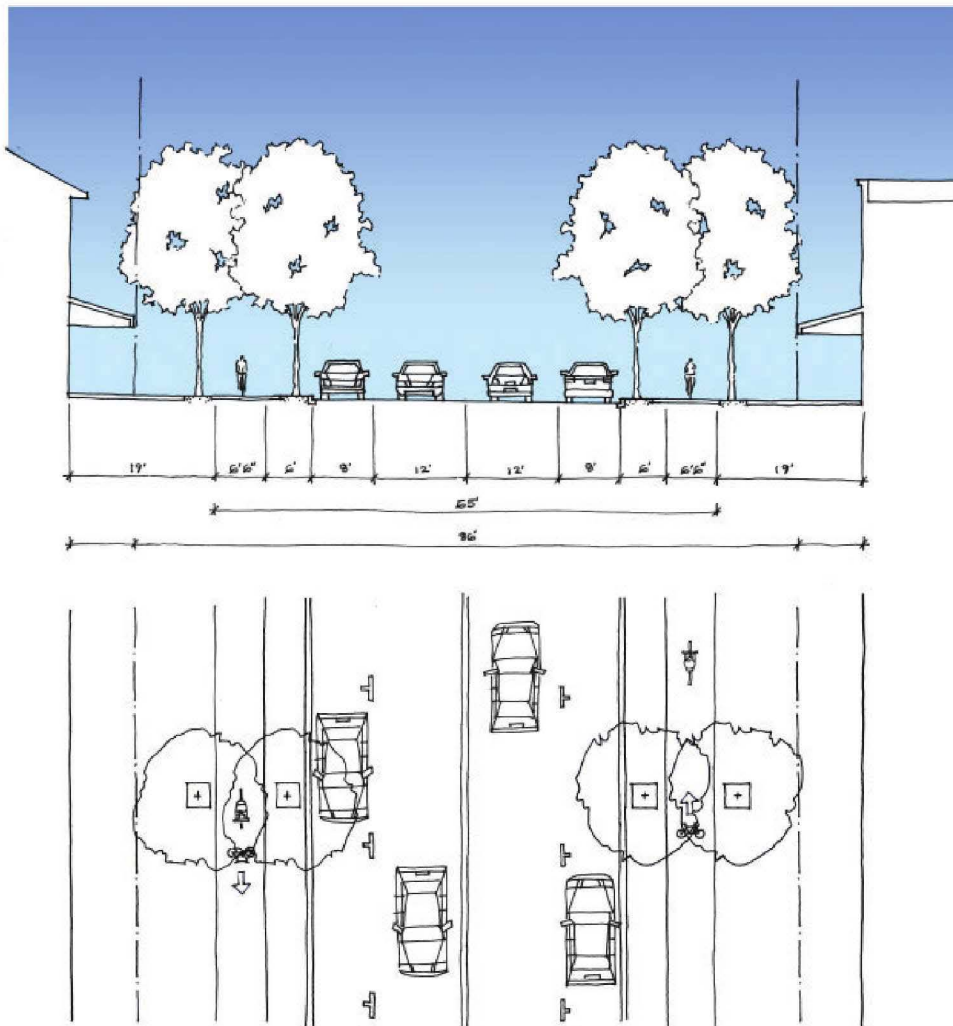
C. Lane Assembly

Traffic Lanes	2 @ 10' (minimum)
Bicycle Lanes	none
Parking Lanes	2 @ 8'
Median/Turn Lanes	none

D. Public Frontage Assembly

Frontage Type	Street
Drainage Collection Type	Curb and gutter
Planter Type	6' planter strip
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	6' min.
Curb Type	Square

17.06.710.C.7.e (1) State Farm Drive



A. Application

Street Type	Street
Movement Type	Low to Slow
Design Speed	25-30 mph

B. Overall Widths

Right-of-Way (ROW) Width	86'
Curb-to-Curb Width	65'

C. Lane Assembly

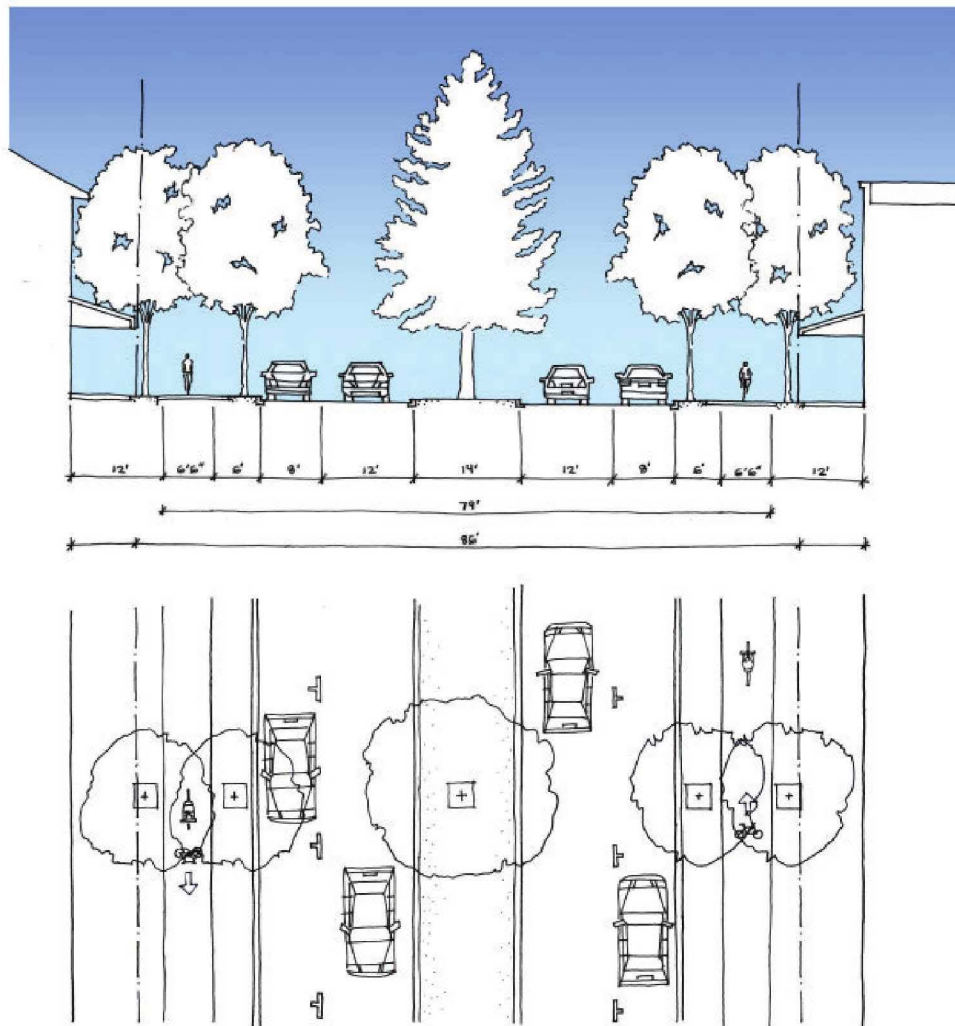
Traffic Lanes	2 @ 12' (minimum)
Bicycle Lanes	2 @ 6'6"
Parking Lanes	2 @ 8'
Median/Turn Lanes	Allowed with approval from City Engineer .

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	12' min.
Curb Type	Square

Note: The City Engineer may approve deviations from the typology's dimensions and configuration of elements.

17.06.710.C.7.e (2) State Farm Drive



A. Application

Street Type	Street
Movement Type	Low to Slow
Design Speed	25-30 mph

B. Overall Widths

Right-of-Way (ROW) Width	86'
Curb-to-Curb Width	79'

C. Lane Assembly

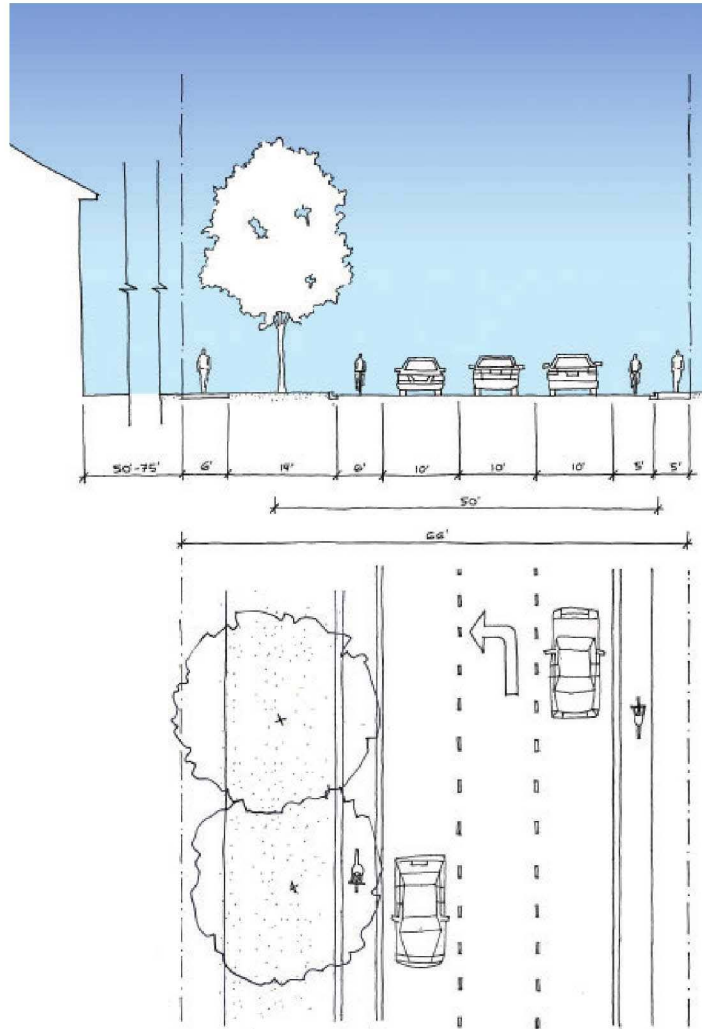
Traffic Lanes	2 @ 12' (minimum)
Bicycle Lanes	2 @ 6'6"
Parking Lanes	2 @ 8'
Median/Turn Lanes	1 @ 14'

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	12' min.
Curb Type	Square

Note: The City Engineer may approve deviations from the typology's dimensions and configuration of elements.

17.06.710.C.7.f Enterprise Drive



A. Application

Street Type	Street
Movement Type	Slow
Design Speed	25 mph

B. Overall Widths

Right-of-Way (ROW) Width	Existing: 49'-6"
	Proposed: 66'
Curb-to-Curb Width	50'

C. Lane Assembly

Traffic Lanes	3 @ 10' (minimum)
Bicycle Lanes	2 @ 6' (typical)
Parking Lanes ¹	1 @ 8' (optional, north side)
Median/Turn Lanes	none

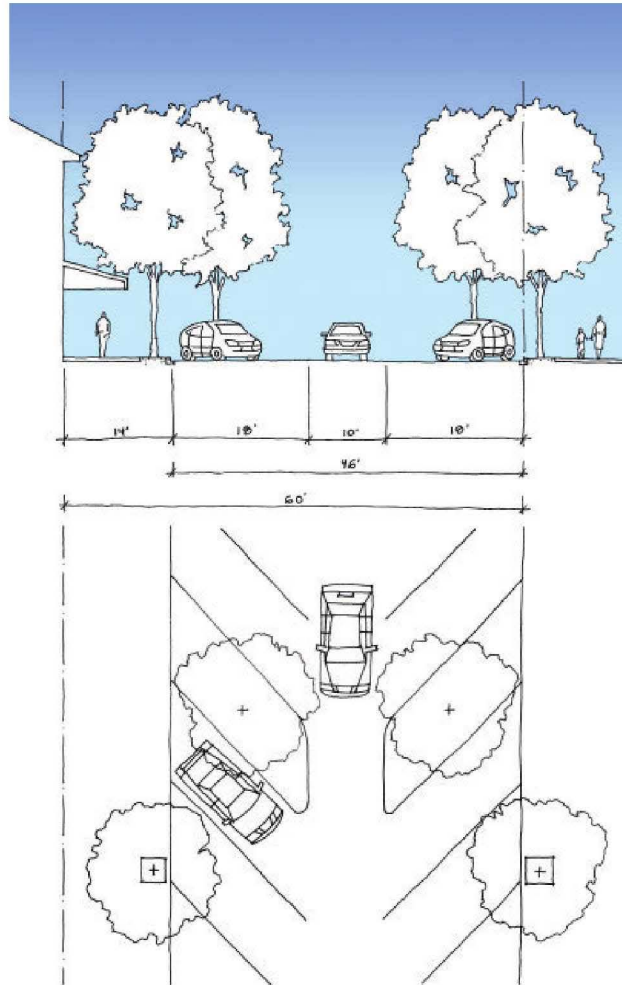
¹On street parking can be eliminated with approval from [City Engineer](#).

D. Public Frontage Assembly

Frontage Type	Street
Drainage Collection Type	Curb and gutter
Planter Type	6' planter strip (north side)
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	6' min.
Curb Type	Square

Note: The City Engineer may approve deviations from the typology's dimensions and configuration of elements.

17.06.710.C.7.g One Way Couplet - 60' ROW



A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	60'
Curb-to-Curb Width	46'

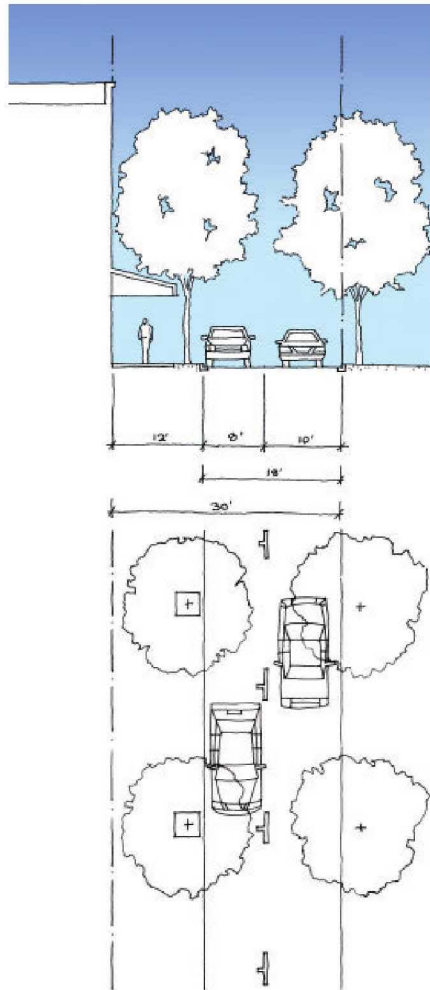
C. Lane Assembly

Traffic Lanes	1 @ 10' (minimum)
Bicycle Lanes	none
Parking Lanes	2 @ 18' (back-in angled parking with tree wells)
Median/Turn Lanes	none

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	14' min.
Curb Type	Square

17.06.710.C.7.h One Way Couplet - 30' ROW



A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	30'
Curb-to-Curb Width	18'

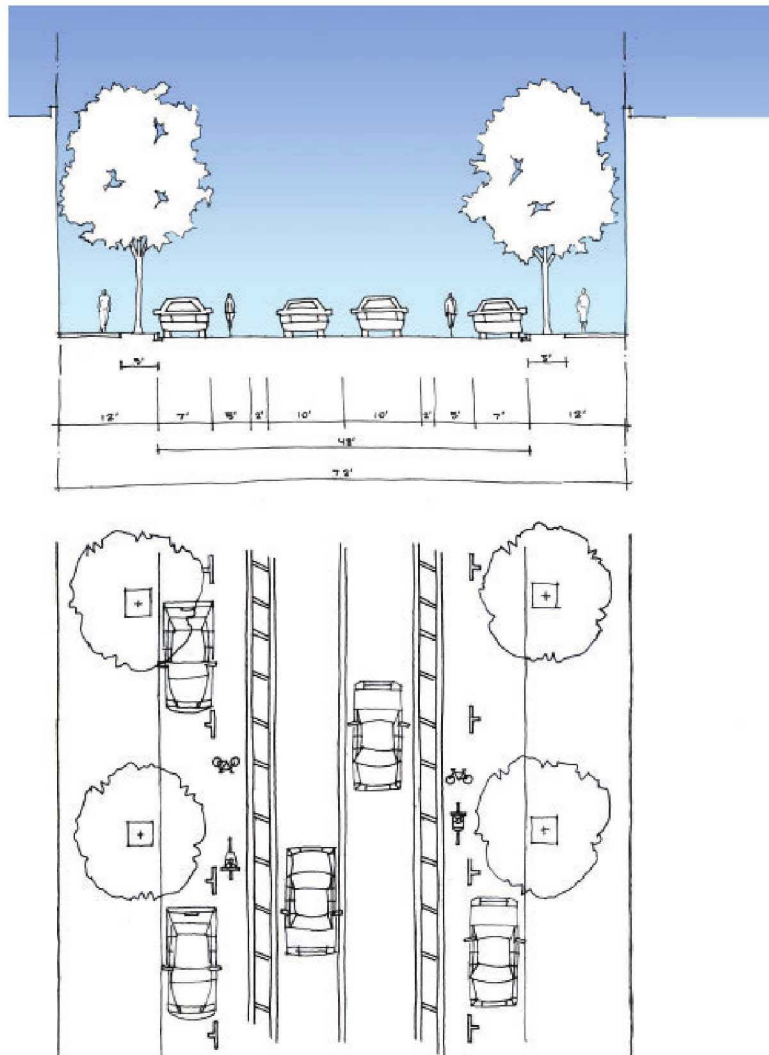
C. Lane Assembly

Traffic Lanes	1 @ 10' (minimum)
Bicycle Lanes	none
Parking Lanes	1 @ 8'
Median/Turn Lanes	none

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	14' min.
Curb Type	Square

17.06.710.C.7.i Grand Street



Note: Opticos to amend this graphic to omit the bike lanes buffers.

A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	72'
Curb-to-Curb Width	48'

C. Lane Assembly

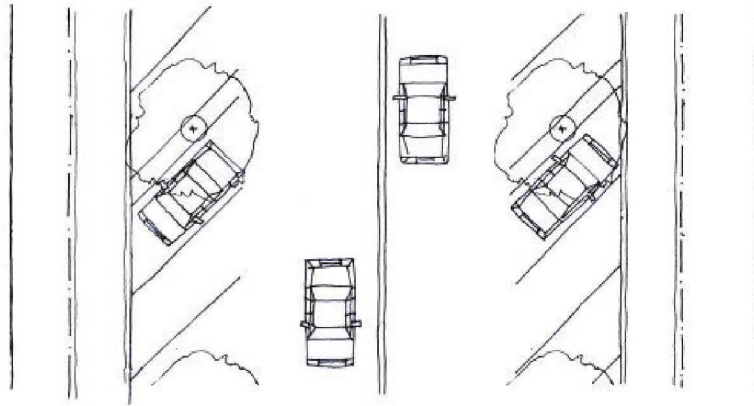
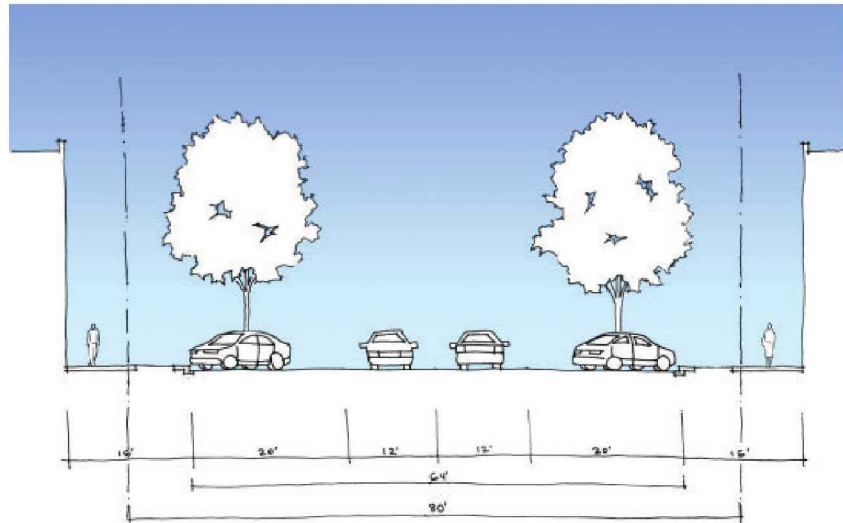
Traffic Lanes	2 @ 10' (minimum)
Bicycle Lanes	2 @ 5' (optional)
Parking Lanes	2 @ 7'
Median/Turn Lanes	none

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	12' min.
Curb Type	Square

Note: The City Engineer can approve deviations from the typology's dimensions and configuration of elements.

17.06.710.C.7.j Station Avenue (between State Farm Drive and Quest Street)



Note: Opticos to amend this graphic to change the dimension of the parking lanes from 20 to 18-feet.

A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	80'
Curb-to-Curb Width	64'

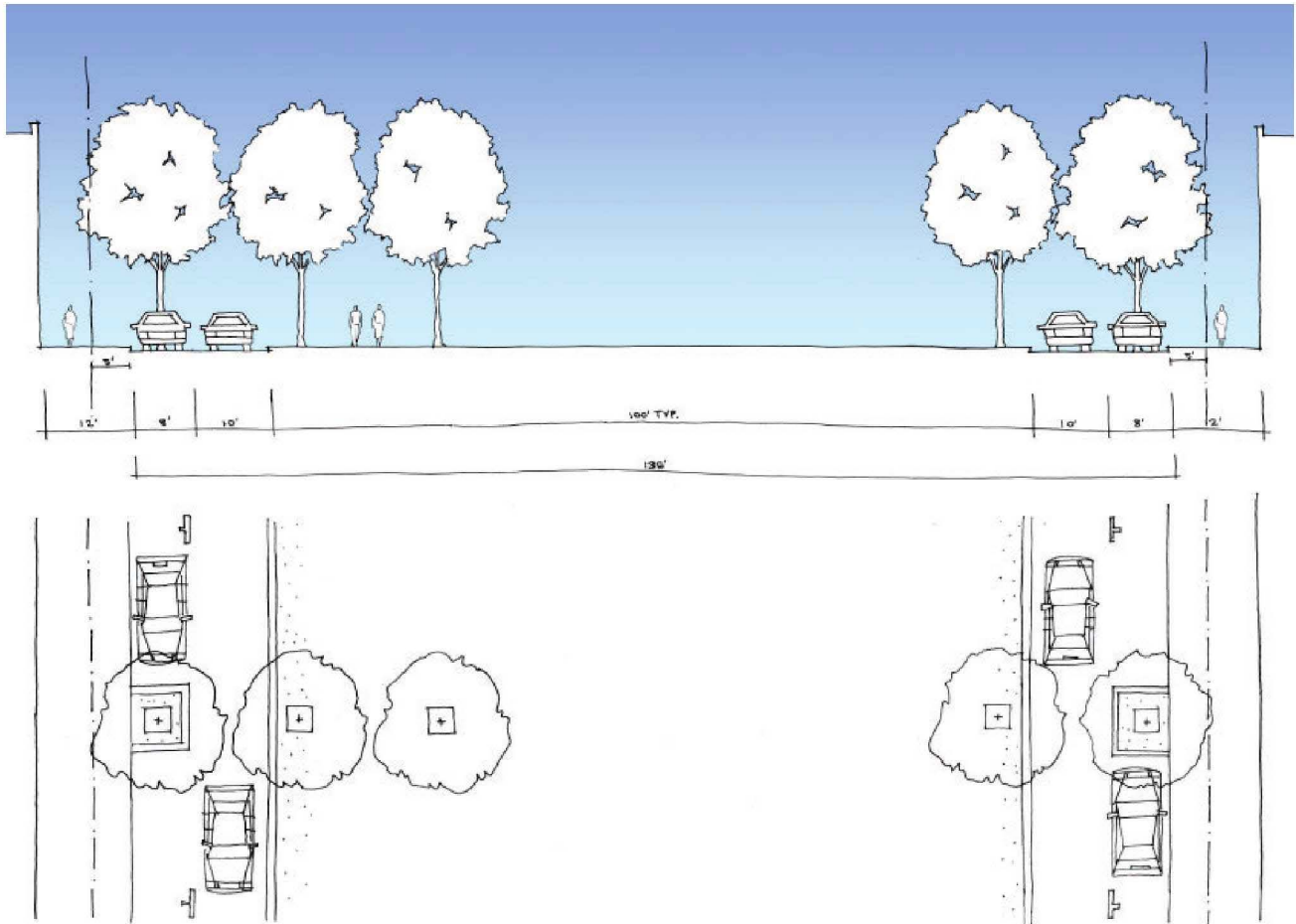
C. Lane Assembly

Traffic Lanes	2 @ 10' (minimum)
Bicycle Lanes	none
Parking Lanes	2 @ 18' (front-in angled)
Median/Turn Lanes	none

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	8' min.
Curb Type	Square

17.06.710.C.7.k Plaza Street Section



A. Application

Street Type	Street
Movement Type	Slow
Design Speed	20 mph

B. Overall Widths

Right-of-Way (ROW) Width	146'
Curb-to-Curb Width	136'

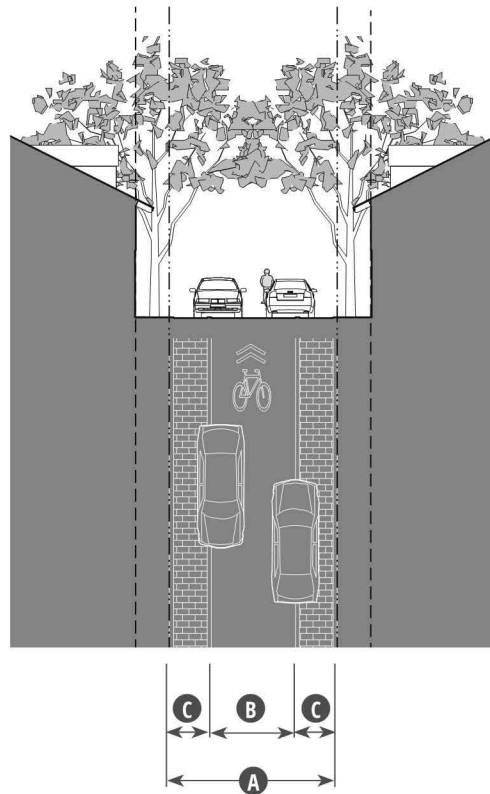
C. Lane Assembly

Traffic Lanes	2 @ 10' (minimum)
Bicycle Lanes	none
Parking Lanes	2 @ 8'
Median/Turn Lanes	1 @ 100'

D. Public Frontage Assembly

Frontage Type	Commercial street
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree wells w/ grates
Landscape Type	Trees at 30' o.c. avg.
Walkway Type	12' min.
Curb Type	Square

17.06.710.C.7.I New Alley



A. Application

Movement Type	Yield
Design Speed	15 mph

B. Overall Widths

Right-of-Way (ROW) Width	20'	A
Pavement Width	20' (10' + 10' special)	B
5' special paving on each side (driveable)		C
Garage doors shall be setback 5' min. from ROW		
Pedestrians share 20' section with vehicles and bicycles.		

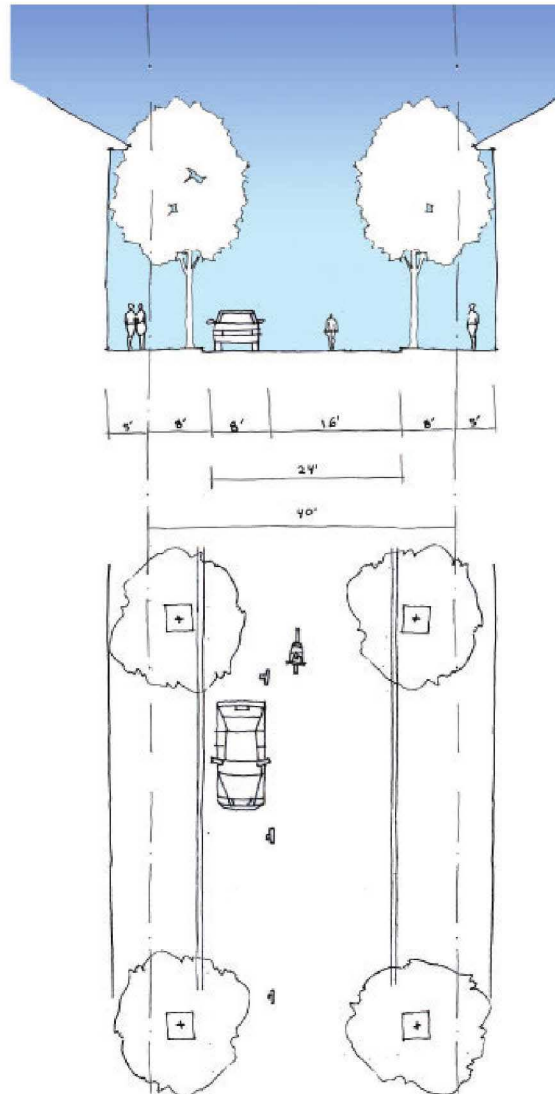
C. Lane Assembly

Traffic Lanes	1 @ 20' (minimum)	A
Bicycle Lanes	Sharrow	
Parking Lanes	None	
Median	None	

D. Public Frontage Assembly

Drainage Collection Type	Valley gutter
Planter Type	n/a
Landscape Type	Trees at 50' o.c. avg.
Walkway Type	None
Curb Type	Rolled or flush
Dead end alleys are not allowed.	

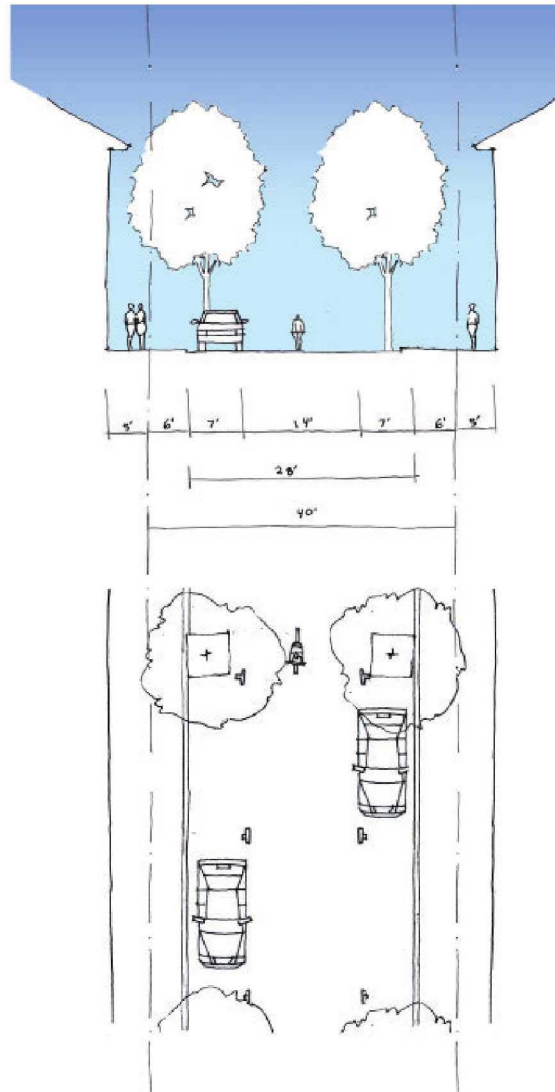
17.06.710.C.7.m Yield Alley, Parking One Side



A. Application	
Movement Type	Yield
Design Speed	15 mph
B. Overall Widths	
Right-of-Way (ROW) Width	40'
Pavement Width	24'
Garage doors shall be setback 5' min. from ROW	

C. Lane Assembly	
Traffic Lanes	1 @ 16' (minimum)
Bicycle Lanes	Sharrow
Parking Lanes	1 @ 8'
Median	None
D. Public Frontage Assembly	
Drainage Collection Type	Curb and Gutter
Planter Type	4'x4' tree wells w/grates
Landscape Type	Trees at 50' o.c. avg.
Walkway Type	8'
Curb Type	Square

17.06.710.C.7.n Yield Alley, Parking Both Sides



A. Application	
Movement Type	Yield
Design Speed	15 mph
B. Overall Widths	
Right-of-Way (ROW) Width	40'
Pavement Width	28'
Garage doors shall be setback 5' min. from ROW	

C. Lane Assembly	
Traffic Lanes	1 @ 14' (minimum)
Bicycle Lanes	Sharrow
Parking Lanes	2 @ 7'
Median	None
D. Public Frontage Assembly	
Drainage Collection Type	Curb and Gutter
Planter Type	4'x4' tree wells w/grates (between parking spaces)
Landscape Type	Trees at 50' o.c. avg.
Walkway Type	6'
Curb Type	Square

Section 17.06.720: Specific to Zones

17.06.720.A: Downtown District Zones

17.06.720.A.1. Purpose

This Section provides regulatory standards governing building form and land use within the [Downtown District Amenity Zone overlay](#).

17.06.720.A.2. Applicability

- a. The standards of this Section shall apply to all proposed development within the [Downtown District Amenity Zone overlay](#), and shall be considered in combination with the standards in [Section 17.06.730 \(Supplemental to Zones\)](#) and [Section 17.06.710 \(Walkable Neighborhood Design\)](#). If there is a conflict between any standards, the more restrictive standards shall apply.
 - b. Uses not listed in [Section 17.06.720.B \(Use Table\)](#) are not permitted in the zone.
-

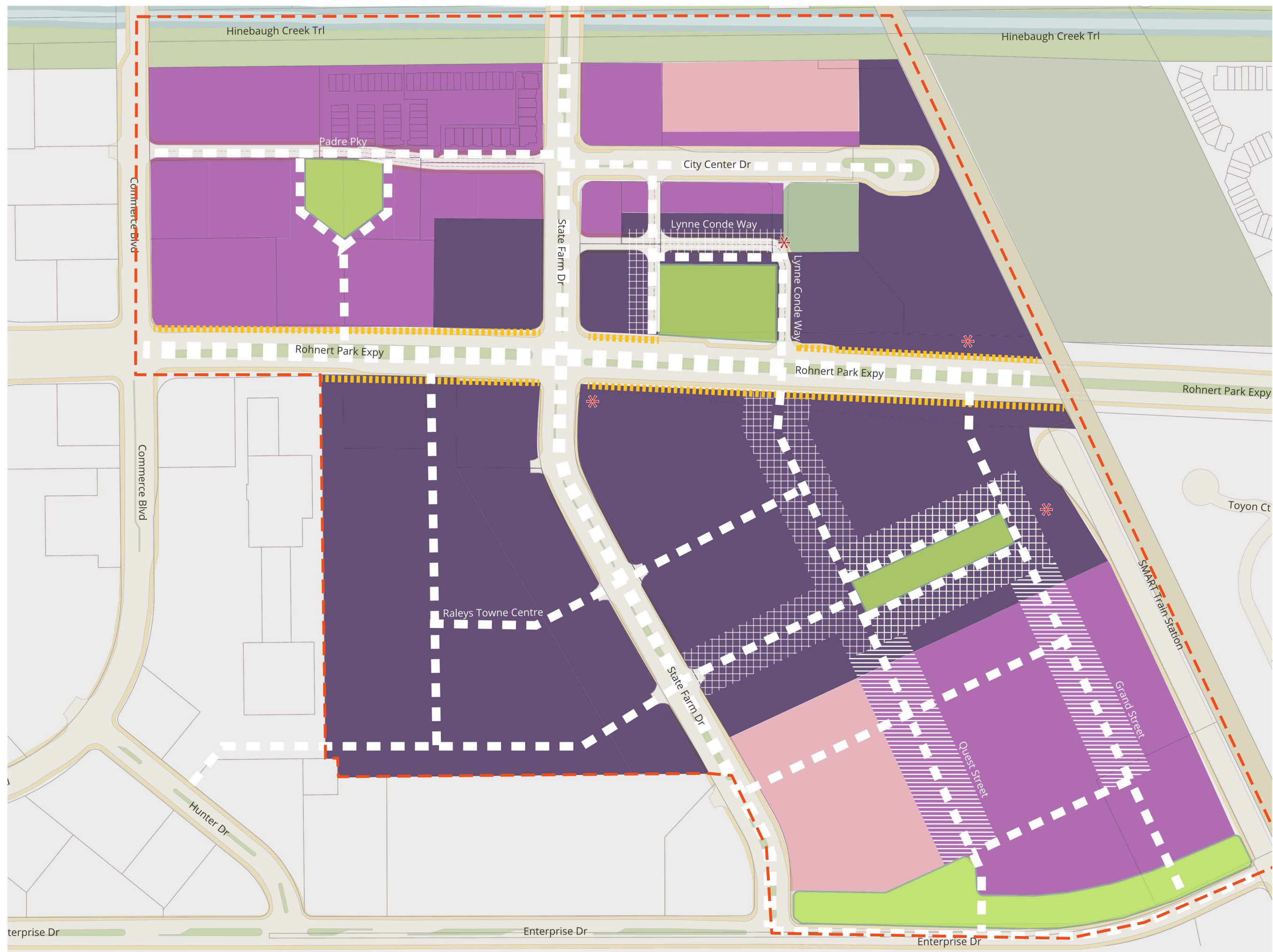
17.06.720.A.3. Zones Overview

- a. The standards in this Section provide building form standards, use, and parking standards for each zone. Some zones have a sub-zone that allows the same built form but with either additional or limited ground floor and upper floor uses. Table 17.06.720.B.2.a provides an overview of the DDAZ Zones.
 - b. Buildable Sites and Building Types.
 - i. The term "[Buildable Site](#)" in this Section refers to a potential site boundary that may or may not equate to a legal parcel. Buildable sites expressed in this Section intend to accommodate one primary building type, accessory structures including one carriage house (when applicable), and private open space associated with the primary building type.
 - c. At least one of each of the following, in compliance with the listed standards, must be selected for each Buildable Site:
 - i. [Building Type \(17.06.730.B\)](#); and
 - ii. [Frontage Type \(17.06.730.C\)](#)
 - d. Accessory Buildings and Structures.
 - i. Accessory buildings and structures are allowed and regulated in [Section 17.10.060](#).
-

17.06.720.A.4. Regulating Plan

- a. The Zones in this section are mapped on [Figure 17.06.720.A.4 \(DDAZ Regulating Plan\)](#).

Regulating Plan
1"=100'
DDAZ Zones



- +—+— Railroad
- Proposed Thoroughfare
- - - DDAZ Boundary
- Proposed Civic Spaces
- Downtown Neighborhood
- Downtown Main Street
- Downtown Core
- Priority Retail Area
- Active Ground Floor Required
- Priority Slip Lane Condition (17.06.710.C.7.c)
- Terminating Vista

Figure 17.06.720.A.4
 (DDAZ Regulating Plan)

Rohnert Park, California
November 1, 2018



17.06.720.A.5 Development Standards Summary Table

A. Intent		
Downtown Core	Downtown Main Street	Downtown Neighborhood
Intent Diagram	Intent Diagram	Intent Diagram
		
Intent	Intent	Intent
A vibrant, walkable, urban main street serving the Rohnert Park community and the region with commercial, retail, entertainment, and civic uses, public transportation, and medium-to-large footprint, moderate-to-high intensity housing choices.	A walkable, vibrant urban main street serving multiple neighborhoods with commercial, retail, entertainment, and civic uses, public transportation, small-to medium footprint buildings with some moderate-to-high intensity housing choices.	A walkable, urban neighborhood environment with small-to-medium footprint, lower-intensity housing choices, supporting and within short walking distance of neighborhood-serving retail and services.
Desired Form	Desired Form	Desired Form
Detached or Attached Buildings: Primarily Attached	Detached or Attached Buildings: Primarily Attached	Detached or Attached Buildings: Mix of Attached and Detached
Lot Width: Medium to Large	Lot Width: Small to Medium	Lot Width: Small to Medium
Footprint: Medium to Large	Footprint: Small to Medium	Footprint: Small to Medium
Setbacks: Buildings at back of sidewalk	Setbacks: Buildings at/near back of sidewalk	Setbacks: Buildings uniformly set back from sidewalk
Building Height Up to 5-7 stories	Building Height Up to 4.5 stories	Building Height: Up to 3.5 stories
Ground Floor: At ground level	Ground Floor: At or raised from ground level	Ground Floor: Raised from ground level
Frontages: Primarily Shopfronts, Galleries, and Arcades	Frontages: Primarily Shopfronts, Galleries, Dooryards, Terraces, and Forecourts	Frontages: Primarily Dooryards, Stoops, Porches, Forecourts
Streetscape: Street Trees in Tree Wells	Streetscape: Street Trees in Tree Wells	Streetscape: Street Trees in Tree Wells or planter strips

A. Intent			
Downtown Core	Downtown Main Street	Downtown Neighborhood	
General Use	General Use	General Use	
Primarily Ground Floor Commercial, Residential and/or Office on upper stories, Civic Vertical Mixed Use	Commercial and Service, Residential, Civic Vertical and Horizontal Mixed Use	Residential, Civic, with some Service Primarily Horizontal Mixed Use	
Parking	Parking	Parking	
Low Parking Requirements/ Parking Maximums Shared Parking, Parking Reductions, On-Street Parking, Parking Lots	Low Parking Requirements Shared Parking, Parking Reductions	Low Parking Requirements	
B. Allowed Building Types			
Description	Downtown Core	Downtown Main Street	Downtown Neighborhood
Allowed Building Type			
Townhouse	x	x	x
Mansion Apartment			x
Apartment House		x	x
Apartment Block	x	x	
Live/Work	x	x	
Main Street Mixed-Use	x	x	
Lot Size (for zone; individual types to receive specific requirements)			
Width	By Building Type	By Building Type	By Building Type
Depth	By Building Type	By Building Type	By Building Type
Miscellaneous			
A building form with a chamfered corner is allowed only if a corner entry is provided.			
Only one main building and one accessory structure may be built on each lot.			
Entire BTL shall be defined by a building or a building and a 8" to 48" high fence or stucco or masonry wall.			
Planting strip only allowed between sidewalk and building in the Downtown Neighborhood Zone.			

C. Building Form			
Description	Downtown Core	Downtown Main Street	Downtown Neighborhood
Height (Max Stories /Feet to Highest Eave)¹			
Main Building ²	7 stories/85' max. to eave ³	4.5 stories/55' max. to eave	3.5 stories/40' max. to eave
Accessory Structure			
Accessory Dwellings	2 stories/24' max. overall	2 stories/24' max. overall	2 stories/24' max. overall
Other	1 story/ 14' max. overall	1 story/ 14' max. overall	1 story/ 14' max. overall
Ground Floor Finish Level	6" max.	0' min.	18" min.
Ceiling Height, Ground Floor			
Residential	12' min.	12' min.	10' min.
Non-residential	14' min.	14' min.	12' min.
Ceiling Height, Upper Floor(s)	8' min.	8' min.	8' min.

¹ Height is measured to eave per [17.06.730.A.1. \(Additional Height Regulations\)](#).

² Within 20' of the rear property line, buildings may not be more than a half-story taller than the allowed height of adjacent buildings.

³ Upper Floor(s) above 5th Floor shall be setback from ground floor facade per standards in section D.

Footprint			
Lot Coverage	90% max.	80% max.	60% max.
Main Building			
Width ³	By Building Type	By Building Type	By Building Type
Depth	By Building Type	By Building Type	By Building Type
Accessory Structure			
Width	24' max.	24' max.	24' max.
Depth	32' max.	32' max.	32' max.
Depth, Ground-Floor Space			
Residential	NA	24' min.	24' min.
Non-residential, Front	40' min.	40' min.	40' min.
Non-residential, Side Street	no min.	no min.	no min.

³ Buildings wider than 75' shall be designed to read as a series of buildings no wider than 75' each.

C. Building Form			
Description	Downtown Core	Downtown Main Street	Downtown Neighborhood

Miscellaneous			
Distance Between Entries			
at Ground Floor	50' max	50' max.	
at Upper Floor(s)	25' max	35' max.	

All upper floors shall have a primary entrance along the front

Loading docks, overhead doors, and other service entries may not be located on street-facing facades.

D. Building Placement			
Description	Downtown Core	Downtown Main Street	Downtown Neighborhood

Building Location and Placement			
Build-To Line (BTL)	Minimum needed to result in a 12' min. sidewalk	Minimum needed to result in a 12' min. sidewalk	at ROW
Front Setback behind BTL			
Main Building	0' min.; 5' max	0' min.; 10' max	5' min.; 15' max
Main Building, Upper floor(s)	10' min. at 5th story	not applicable	not applicable
Side Street Setback			
Main Building	0' min.; 5' max	0' min.; 5' max	5' min.; 10' max
Main Building, Upper floor(s)	10' min. at 5th story	not applicable	not applicable
Accessory Building	3' min.	3' min.	3' min.
Side Setback ³			
Ground floor	0' min.	0' min.	5' min.
Accessory Building	3' min.	3' min.	3' min.
Rear Setback	5' min.	5' min.	5' min.
Facade within Facade Zone ¹			
Front	85% min.	75% min.	75% min.
Side Street	60% min.	60% min.	60% min.

¹ On corner lots, the BTL shall be defined by a building for the first 30' from the corner.

² Where existing adjacent buildings are in front of the regulated BTL, the building may be set to align with the facade of the front most immediately adjacent property.

³ No side setback required along common property line between Townhouse building types.

E. Encroachments and Frontage Types			
Description	Downtown Core	Downtown Main Street	Downtown Neighborhood
Allowed Encroachments ⁵			
Front	8' max.	8' max.	8' max.
Side Street	8' max.	8' max.	8' max.
Side	5' max.	5' max.	5' max.
Rear	5' max.	5' max.	5' max.
<p>⁵ Maximum allowed encroachments, see Frontage Types Section 17.06.730.C.3 (Specific to Private Frontages) for further refinement of the allowed encroachments for frontage</p> <p>⁶ Awnings and Galleries may encroach further into the street ROW to within 2' of the face of curb. All other encroachments are not allowed within street ROW.</p>			
Allowed Frontage Types			
Porch: Projecting			x
Porch: Engaged			x
Stoop	x	x	x
Forecourt	x	x	x
Dooryard	x	x	x
Shopfront	x	x	
Terrace	x	x	x
Gallery	x	x	
Arcade	x		

F. Parking			
Description	Downtown Core	Downtown Main Street	Downtown Neighborhood
Parking Requirements (see Subsection 17.06.730.A.2 Additional Parking Regulations in the DDAZ)			
Location (Distance from Property Line / ROW)			
Front Setback	50' min.	50' min.	40' min.
Side Street Setback	5' min.	5' min.	5' min.
Side Setback	0' min.	0' min.	0' min.
Rear	5' min.	5' min.	5' min.
Miscellaneous			
Parking Drive Width (Max.)			x
Front, ≤ 40 spaces			x
Front, > 40 spaces	x	x	x
Side Street/Alley	x	x	h

17.06.720.B: Use Table

Residential Uses ¹			
	D-N	D-MS	D-C
Accessory Building	P	P	P
Dwelling, Multifamily	P	P	P ²
Dwelling, Single Family	P	P	-
Large Family Daycare (9-14)	P	P	-
Small Family Daycare Home (8 or Less)	P	P	P ²
Guest House	P	P	-
Home Occupancy	A	A	A
Live-Work Unit	P	P	P
Residential Care Facilities for the Elderly (RCFE)	A	A	A
Residential Care Facilities for the Chronically Ill (RCFCI)	A	A	A
Residential Mixed Use	A	P	P
Homeless Shelter*	CUP	CUP	CUP
Transitional Housing	-	-	-
Lodging			
	D-N	D-MS	D-C
Bed and Breakfast Inn (up to 5 rooms)	P	P	P
Hotel (no room limit)	-	-	P
Inn (up to 12 rooms)	P	P	P

Key

P Permitted **A** Administrative Permit **CUP** Conditional Use Permit **TUP** Temporary Conditional Use Permit

- Not Permitted

Land Use Limitations/Notes

¹ Residential densities between 12 and 75 units per gross acre permitted.

² Permitted only in Open sub-zone.

* Uses marked with an asterisk are subject to the applicable provisions of [Chapter 17.07.020 \(Footnotes\)](#).

Retail			
	D-N	D-MS	D-C
Brewpub ²	-	A	A
Commercial Recreation—Indoor*	A	A	P
Bar/Tavern/Night Club * ²	-	A ²	A ²
Farmer's Market (daily or weekly, year-round)	-	A	A
Kiosk	A	A	A
Liquor Store * ²	-	A ²	A ²
Live-Work Unit	P	P	P
Outdoor and Sidewalk Cafes*	P	P	P
On-Site production of items sold	A	P	P
Restaurant, Cafe, Coffee Shop	P	P	P
Drivethrus	-	-	-
Related alcohol sales ²	A	A	A
Retail, General			
≤ 2,500 sf	P ¹	P	P
2,500 sf ≤ 5,000 sf	A	P	P
> 5,000 sf	-	A	P
Related alcohol sales ²	-	A	A
Smoking/Tobacco Store	-	CUP	CUP
Tasting room ²	-	A	A
Theater/Performing Arts/Cinema	-	P	P
Temporary Use	TUP	TUP	TUP
Civic			

Key

P Permitted **A** Administrative Permit **CUP** Conditional Use Permit **TUP** Temporary Conditional Use Permit

- Not Permitted

Land Use Limitations/Notes

¹ Permitted only in Open sub-zone.

² Alcohol related uses are permitted in D-MS and D-C and exempt from municipal code section 8.34.040 (D & E) and section 8.34.060 (C &D) which restrict alcohol sales proximate to parks and plazas.

* Uses marked with an asterisk are subject to the applicable provisions of [Chapter 17.07.020 \(Footnotes\)](#).

	D-N	D-MS	D-C
Amphitheater (outdoor)	-	CUP	CUP
Library, Museum, Art Gallery	P	P	P
Parking, Structured	-	A	P
Parks	P	P	P
Public Assembly	A	A	P

Agriculture, Food, and Animal

	D-N	D-MS	D-C
Garden, Private or Community (less than 2 acres)	P	P	P
Garden, Private or Community (more than 2 acres)	A	A	A
Green Roof/Green Balcony	P	P	P
Vertical Garden/Green Wall	P	P	P

Office/Services

	D-N	D-MS	D-C
Adult Day Program	A	A	P
Bank, Financial Services	-	P	P
Business Support Services	-	P	P
Catering	-	P	P
Child Day Care Facility	A	A	P
Health Care Facility			
Major	-	-	P
Minor	-	P	P
Laundry, Coin-Operated	-	P	P

Key

P Permitted **A** Administrative Permit **CUP** Conditional Use Permit **TUP** Temporary Conditional Use Permit

- Not Permitted

Land Use Limitations/Notes

¹ Permitted only in Open sub-zone.

* Uses marked with an asterisk are subject to the applicable provisions of [Chapter 17.07.020 \(Footnotes\)](#).

Maintenance Repair Service—Minor	–	–	P
Media Production	–	P	P
Office—Business, Service, Government	P	P	P
Personal Services	P	P	P
Printing and Publishing	P	P	P
Studio—Art, Dance, Martial Arts, Music, etc.	P	P	P
Veterinary Clinic, Animal Hospital	–	P	P
Automotive			
	D-N	D-MS	D-C
Auto Vehicle Sales and Rental	–	–	A
Carshare/Bicycleshare Stations	P	P	P
Electric Vehicle Charging Stations	P	P	P
Civil Support			
	D-N	D-MS	D-C
Telecommunication Facility	A / CUP	A / CUP	A / CUP
Education			
	D-N	D-MS	D-C
Elementary School	P	P	P
Junior High and High School	P	P	P
School—Specialized Education and Training	–	–	–

Key

P Permitted **A** Administrative Permit **CUP** Conditional Use Permit **TUP** Temporary Conditional Use Permit

– Not Permitted

Land Use Limitations/Notes

¹ Permitted only in Open sub-zone.

* Uses marked with an asterisk are subject to the applicable provisions of [Chapter 17.07.020 \(Footnotes\)](#).

Section 17.06.730: Supplemental to Zones

17.06.730.A: General Standards

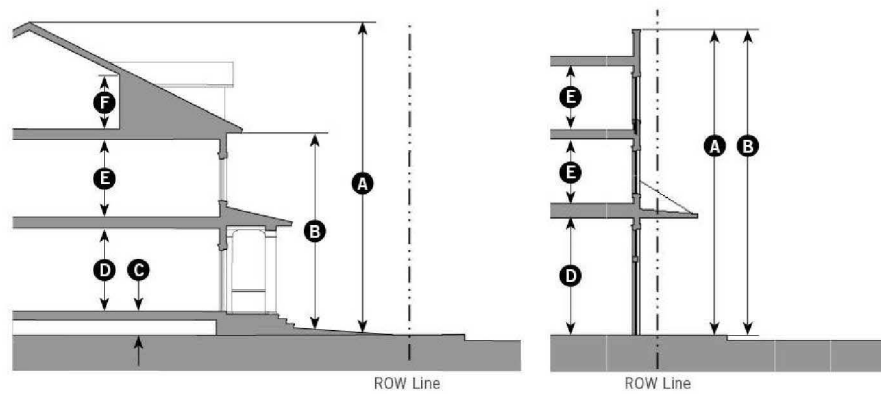
17.06.730.A.1 Additional Height Regulations

- a. **Introduction.** This Sub-Section establishes the methodology used to measure the height of a building. The methodology applies to primary and accessory buildings and structures.
 - (1) The DDAZ zones use several methods to regulate the building height, including regulating the overall building height, the height to the eave or parapet and the number of stories. These methods are used together to help ensure that new development is consistent in character and scale across the DDAZ. See [Figure 17.06.730.A.1.a](#).
- b. **Applicability.** The standards in this Sub-Section are applicable to all development within the DDAZ. The maximum height of a building or structure is established in [Section 17.06.720 \(Specific to Zones\)](#).
- c. **Overall Building Height.** Overall building height shall be measured vertically from the finished grade adjacent to the building exterior to the building height plane.
 - (1) **Building Height Plane.** The building height plane is an imaginary plane that is used to determine the height of the building. It is determined as follows:
 - (i) The plane shall be parallel to the natural grade of the site; and
 - (ii) The plane shall be set vertically at the highest point of the coping of a flat roof, the top of a mansard roof, or the highest point of the highest pitched roof.
- d. **Building Height to Eave/Parapet.** Building height to eave/parapet shall be measured vertically from the finished grade adjacent to the building exterior to the eave or top of the parapet.
- e. **Building Height by Story.** A story shall be measured as follows for purposes of regulating the height of the building:
 - (1) A story that meets the height regulations in [Table 17.06.730.A.1.a \(Maximum Height of a Floor\)](#) shall be counted as one story. A story that exceeds the height regulations in [Table 17.06.730.A.1.a](#) shall be counted as two or more stories.
 - (2) Basements with an exterior exposed wall greater than four feet shall count as a story. The height of the exterior wall shall be measured from the finished grade to the finished floor of the story above.
- f. **Half-Story.** Finished attics shall be measured as a knee wall maximum height of five feet and a finished floor to finished ceiling maximum height of nine feet.
- g. **Knee Wall.** A short wall, not necessarily high enough for a person to stand up next to, that supports rafters and encloses a finished attic or the top half-story of a building.

Table 17.06.730.A.1.a Maximum Height of a Floor ^{1,2}		
	Non-Residential, except Civic Uses	Residential
Single Story	20' max.	16' max.
Multi-Story Buildings		
Ground Floor	20' max.	16' max.
All Other Floors	12' max.	12' max.

¹ All heights are measured finished floor to highest point of the finished ceiling.

² Exceptions to maximum floor height requirements may be granted through the Design Review process.



Rohnert Park Downtown Distric Zones Building Height Measurements (not drawn to scale)

Key

- | | | |
|----------------------------------|-----------------------------------|----------------------|
| A Overall Building Height | B Height to Eave / Parapet | C Crawl Space |
| D Ground Floor | E Other Floors | F Knee Wall |

Figure 17.06.730.A.1.a

17.06.730.A.2 Additional Parking Regulations in the DDAZ

- a. **Purpose.** The purpose of this Sub-Section is to provide additional parking regulations for the DDAZ that supplement those found in [Chapter 17.16 \(Off-Street Parking Requirements\)](#). The Sub-Section provides options for adjusting parking requirements and providing parking alternatives. These standards ensure that the parking needs of new land uses and development are met, while being designed and located in a manner consistent with the desired character and development patterns of the DDAZ.
- b. **Applicability.** The parking standards of this Sub-Section shall apply to the following within the DDAZ area:
 - (1) New development;
 - (2) Changes in land use; and,
 - (3) Changes made in intensity of buildings or structures of 15 percent or more of:
 - (i) Gross floor area;
 - (ii) Seating capacity;
 - (iii) Dwelling units;
 - (iv) Parking spaces; and/or,
 - (v) Other units of measurement listed in [Table 17.06.730.A.2.a \(Number of Motor Vehicle Parking Spaces Required\)](#).
 - (4) Should any conflict arise between the regulations found in this Sub-Section and [Chapter 17.16](#), the standards found in this Sub-Section shall apply.
 - (5) All parking spaces provided shall meet the location, design, landscaping and improvement requirements in this Sub-Article.
- c. **Bicycle Parking**
 - (1) See [Section 17.16.140 \(Bicycle Parking\)](#) for Bicycle Parking standards.
- d. **Off-Site/Premises Parking**
 - (1) See [Section 17.16.070 \(Shared Parking\)](#)
- e. **Number of Motor Vehicle Parking Spaces Required**
 - (1) **Parking Requirements.** The number of required motor vehicle spaces for residential, retail, and service uses are regulated in [Section 17.06.720 \(Specific to Zones\)](#). For those regulated uses, the requirements of [Table 17.06.730.A.2.a \(Number of Motor Vehicle Parking Spaces Required\)](#) shall not apply. For all other uses not listed in [Section 17.06.720 \(Specific to Zones\)](#), the requirements of [Table 17.06.730.A.2.a \(Number of Motor Vehicle Parking Spaces Required\)](#) shall apply.
 - (i) Fractional parking requirements, when applicable, shall be rounded up to the next whole number.
 - (ii) Parking may be covered or uncovered unless specified in [Section 17.06.720 \(Specific to Zones\)](#).
 - (iii) Parking requirements for uses not addressed in [Section 17.06.720](#) or not listed in [Table 17.06.730.A.2.a](#) shall be determined at the discretion of the [Department Director](#).
 - (2) **Maximum Number of Parking Spaces.** Developments over 20,000 square feet shall not exceed the minimum number of parking spaces by more than five percent. The [Department Director](#) may allow an additional five percent increase in the number of parking spaces if an applicant can show through a parking demand study that additional parking spaces are required.

Table 17.06.730.A.2.a: Number of Motor Vehicle Parking Spaces Required	
Use	Number of Required Spaces
Residential Land Uses	
Multifamily	
Studio or 1 Br.	1 space/unit
2 Br.	1.5 spaces/unit
3+ Br.	2 spaces/unit
Retail	
	2.5 spaces/1,000gsf
Office or Public	
	3 spaces/1,000gsf

f. Parking Adjustments

(1) Recreation, Education, and Assembly Uses.

- (i) Parking requirements based on gross square feet may take a reduction of 5,000 sf; or
- (ii) Parking requirements not based on gross square feet may take a reduction of up to 12 spaces.
- (iii) The **Department Director** may require uses under 5,000 sf to provide parking in instances where that use is likely to generate significant parking demand.

(2) Senior Citizen Housing. The minimum parking requirement provided for in [Table 17.06.730.A.2.a \(Number of Motor Vehicle Parking Spaces Required\)](#) shall be reduced by 25% for each passenger vehicle made available permanently for use by the residents of each 75 such units or fraction thereof, provided that not less than 0.5 space shall be provided for each Residential Dwelling Unit served.

(3) Transit. A parking reduction of up to 30 percent may be approved by the **Department Director** for any use within one-quarter mile of an active bus stop or other transit stop.

(4) On-Street Parking Spaces. Spaces adjacent to the lot may count towards the required residential guest parking, if applicable, and non-residential use parking requirements.

(5) Bicycle Parking Substitution. Required vehicular parking spaces may be reduced at a rate of one vehicular parking space for every two bicycle parking spaces provided above the minimum required by [Sub-Section 17.06.730.A.2.c \(Bicycle Parking\)](#). Reduction in parking shall not exceed a maximum of 20 percent of the required motor vehicle parking spaces.

(6) Shared Parking Simplified. For two use types, shared parking shall be calculated as follows. The sum of the required parking for the two use types shall be divided by the factor listed in the table below. If the use is not listed below, then the shared parking shall be based on [Sub-Section 17.06.730.A.2.g. \(Shared Parking Study\)](#).

Table 17.06.730.A.2.b: Shared Parking Factor for Two Uses				
	Residential	Lodging	Office	Retail
Residential	1.0	1.1	1.4	1.2
Lodging	1.1	1.0	1.7	1.3
Office	1.4	1.7	1.0	1.2
Retail	1.2	1.3	1.2	1.0

g. Shared Parking Study. When three or more use types share parking or a use type is not listed in [Table 17.06.730.A.2.a \(Number of Motor Vehicle Parking Spaces Required\)](#), the amount of required parking may be reduced as follows:

(1) The [Department Director](#), with a recommendation from the Planning Commission as appropriate, may grant a reduction in the parking requirements set forth in this [Section](#) in the following cases:

- (i) Where uses in the same or adjoining development, having different peak hour demand, seek to share parking. The applicant must submit to the [Department Director](#) an analysis and substantiated projections of peak parking demand for the entire development to justify the shared use of parking spaces for separate uses.
- (ii) Where the special nature of a certain development (e.g., special types of housing projects inhabited by persons with low or no automobile ownership) does not require the amount of parking listed in [Table 17.06.730.A.2.a \(Number of Motor Vehicle Parking Spaces Required\)](#) or [Section 17.06.720 \(Specific to Zones\)](#).
- (iii) Where fewer parking spaces are needed due to special designs and traffic mitigation measures incorporated in the parking lot design and circulation plan.

(2) The [Department Director](#), and Planning Commission as appropriate, shall consider the following in determining whether a reduction is warranted:

- (i) The likelihood that the reduced number of parking spaces can satisfy demand;
- (ii) The amount of time during the year when the number of spaces provided may be insufficient and the amount of resulting parking overflow;
- (iii) The impact of periodic overflows upon the public streets and other parking facilities; and
- (iv) The nature of surrounding land uses, character of surrounding road system, and nearby circulation pattern.

(3) Unless requested by [Department Director](#), the burden to demonstrate that a reduction in parking requirements is warranted shall rest with the applicant.

h. Parking Spaces, Lot Design and Layout

(1) Accessible Parking. All parking facilities that require accessible parking spaces shall ensure that a portion of the total number of required parking spaces shall be specifically designated, located, and reserved for use by persons with physical disabilities, in accordance with the standards in the federal American with Disabilities Act (ADA).

(2) Dimensional Standards for Parking Spaces and Aisles

(i) **General.** Standard car parking spaces and parking lot aisles shall comply with the minimum dimension standards established in [Table 17.06.730.A.2.c](#).

Table 17.06.730.A.2.c: Minimum Dimensional Requirements for Off-Street Parking Spaces and Aisles					
Angle	Parking Row Depth	Drive Aisle Width		Space Width	Space Length
		One-Way	Two-Way		
Parallel	8' ¹	12'	20'	8' ¹	20'
30°	17'	11'	24'	9'	20'
45°	20'	13'	24'	9'	20'
60°	21'	18'	24'	9'	18'
Perpendicular	18'	24'	24'	9'	18'
Tandem	36'	24'	24'	9'	36'

¹ Width of on-street parallel parking shall be determined by standards set forth in Section 17.06.710.C (Thoroughfare Design).

- (ii) **Vertical Clearance.** All parking spaces shall have a minimum overhead clearance of seven feet.
- (iii) **Reduction for Sidewalk and Planter Overhangs.** When a parking space abuts a sidewalk or planter; the front two feet of the required parking space length may overhang the planter or sidewalk provided that wheel stops or curbing are provided and the remaining area outside of the overhang meets the minimum width requirements of the sidewalk or planter.
- (iv) **Spaces near Obstructions**
 - (a) When the side of a parking space abuts a wall or other structure that is taller than six inches, the width of the parking space shall be increased by two feet.
 - (b) This provision does not apply to parking spaces abutting support columns in a parking garage.
- (v) **Dimensional Adjustments.** Parking structures may be subject to dimensional adjustments based on utilization, but in no case shall the standard parking space width be less than eight feet. Reduction in design standards shall be subject to approval by the **Department Director** or **City Engineer**.

(3) Location

- (i) Location of required on-site parking is regulated by setbacks set forth in **Section 17.06.720 (Specific to Zones)**, and the following:
 - (a) Parking lots with 20 or fewer spaces: all off-street parking areas shall be separated at least five feet from buildings in order to provide a sidewalk between the building and parking area.
 - (b) Parking lots with more than 20 spaces: all off-street parking areas shall be separated at least 10 feet from buildings in order to make room for a sidewalk, landscaping, and other planting between the building and the parking area.
 - (c) This separation may be eliminated to the rear of buildings in areas designed for unloading and loading of materials.
- (ii) Required parking is not permitted in the required front yard setbacks.
- (iii) Required parking in the exterior side yard is allowed when the parking space is a minimum of 20 feet from the exterior side property line and the parking space is located behind the front of the building.

(4) Access. The following standards are applicable to off-street parking lot access design:

- (i) Each required off-street parking space shall open directly onto an aisle or driveway as specified in **Table 17.06.730.A.2.c (Minimum Dimensional Requirements for Off-Street Parking Spaces and Aisles)**. All off-street parking facilities shall be designed with an appropriate means of vehicular access to a street or to an alley to cause the least interference with traffic movements.
- (ii) Parking spaces in any parking lot or parking structure for any use other than single-family dwellings shall not be designed or located so as to permit a vehicle to enter or exit a parking space directly from a public thoroughfare and shall meet the following standards:
 - (a) Ingress to and egress from parking spaces shall be from an on-site aisle or driveway.
 - (b) Exception, parking spaces within lots of up to eight spaces may be designed or located so as to permit a vehicle to enter or exit a parking space directly from a public alley or rear lane.
- (iii) Driveways to the public thoroughfares shall be by forward motion of the vehicle.
- (iv) Driveways from a public thoroughfare to off-street parking areas in all residential zones shall meet the following:

- (a) Driveways shall be a minimum of 10 feet wide; and
- (b) If a driveway serves more than two dwelling units or is longer than 150 feet, the driveway shall have a minimum width and turnaround that comply with Fire Department requirements and applicable Engineering standards.
- (v) Vehicular entrances to parking structures shall be a maximum of 20 feet wide so as not to dominate the street frontage of buildings.
- (vi) The design and construction of all off-street parking access drives shall meet the requirements of the Engineering Standards.

(5) Materials

- (i) All off-street parking areas and driveways shall be surfaced with materials as approved by the Engineering Division and maintained in accordance with the Engineering Standards.
- (ii) Driveway materials shall extend and include the area between the property line and the street.
- (iii) The use of pervious or semi-pervious parking area surfacing materials—including, but not limited to “grasscrete,” or recycled materials such as glass, rubber, used asphalt, brick, block and concrete—may be approved by the **City Engineer** for required vehicular surface area on a site, provided such areas are properly maintained. Where possible, such materials should be used in areas proximate to and in combination with on-site stormwater control devices. For additional parking lot landscaping requirements refer to [Section 17.16.100](#).

(6) Tandem Parking. Tandem parking is allowed in all zones for all residential uses as follows:

- (i) Two tandem parking spaces may satisfy the parking requirement of one residential unit; and
- (ii) Tandem parking spaces shall not be for required accessible parking spaces.

17.06.730.B: Specific to Building Types

17.06.730.B.1 Purpose




This Sub-Section sets forth the standards applicable to the development of each building type. These standards supplement the standards for each zone in which the building types are allowed. These standards are intended to provide a range of mixed-use, multifamily, and single-family prototypes that are compatible with neighboring development and with each other in creating a downtown center for Rohnert Park.

17.06.730.B.2 Applicability

- a. The requirements of this Sub-Section shall apply to all proposed development within the Rohnert Park Center zones, and shall be considered in combination with the standards for the applicable zone in Section 17.06.720 (Specific to Zones) and in the rest of this Sub-Section.
- b. Development with Civic and Agricultural land uses otherwise allowed in this Chapter shall comply with the standards for the applicable zone in Section 17.06.720 (Specific to Zones), but shall not be required to meet the standards of this Sub-Section.

17.06.730.B.3 Building Types

This Sub-Section provides an overview of the allowed building types. The names of the building types are not intended to limit uses within a building type. For example, a detached house may have non-residential uses within it, such as a restaurant or office as may be allowed within the zone. Table 17.06.730.B.3.a (Building Types General) provides an overview of building types and sets forth whether such types are allowed by right, by review or are not allowed within the DDAZ zones as identified in Section 17.06.720.A.4 (Regulating Plan).

Table 17.06.730.B.3.a: Building Types General		Zones	
Building Type			
 <p>Townhouse. A small- to medium-sized typically attached structure that consists of 2–8 Townhouses placed side-by-side. As allowed by the transect zone, this type may also occasionally be detached with minimal separations between buildings. This type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p> <p>Syn: Rowhouse House-Scale Building <3 units; Block-Scale Building >3 units</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="background-color: #333; color: white; padding: 2px 5px; margin-bottom: 2px;">D-N</div> <div style="background-color: #333; color: white; padding: 2px 5px; margin-bottom: 2px;">D-MS</div> <div style="border: 1px solid #ccc; padding: 2px 5px; margin-bottom: 2px;">D-C</div> </div>	
 <p>Mansion Apartment. This type is a medium-sized structure that consists of 3–6 side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone.</p> <p>House-Scale Building</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="background-color: #333; color: white; padding: 2px 5px; margin-bottom: 2px;">D-N</div> <div style="background-color: #333; color: white; padding: 2px 5px; margin-bottom: 2px;">D-MS</div> <div style="border: 1px solid #ccc; padding: 2px 5px; margin-bottom: 2px;">D-C</div> </div>	
 <p>Apartment House. The Apartment House Building Type is a medium-to-large-sized structure that typically consists of 7–18 side-by-side and/or stacked dwelling units (or more when senior housing is used), typically with one shared entry. This type is appropriately scaled to fit within medium-density neighborhoods or sparingly within larger lot predominantly single-family neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone.</p> <p>House-Scale Building</p>		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="background-color: #333; color: white; padding: 2px 5px; margin-bottom: 2px;">D-N</div> <div style="background-color: #333; color: white; padding: 2px 5px; margin-bottom: 2px;">D-MS</div> <div style="border: 1px solid #ccc; padding: 2px 5px; margin-bottom: 2px;">D-C</div> </div>	

Key	# By Right	# By Review	# Not Allowed
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Table 17.06.730.B.3.a: Building Types General (continued)

Building Type	Zones				
 <p>Apartment Block. The Apartment Block Building Type is a large-sized structure that typically consists of 30-300 side-by-side and/or stacked dwelling units (or more when senior housing is used), typically with one shared entry per block face for upper story units and individual entries for ground floor units. The type is intended to occupy at least one half of and up to an entire block, with the building oriented around one or more internal courtyards and incorporating structured and/or subterranean parking facilities accessed from midblock entries. The type is appropriately scaled to fit within medium and high-density neighborhoods and districts. To establish an appropriate scale, the type incorporates frequent vertical articulations that reduce building facades down into a series of smaller forms. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone.</p> <p>Block-Scale Building</p>	<table border="1"> <tr> <td data-bbox="1253 325 1349 380">D-N</td> <td data-bbox="1349 325 1445 380">D-MS</td> </tr> <tr> <td data-bbox="1253 380 1349 434">D-C</td> <td></td> </tr> </table>	D-N	D-MS	D-C	
D-N	D-MS				
D-C					
 <p>Live/Work. The Live/Work Building Type is a small to medium-sized attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into a neighborhood main street. It is especially appropriate for accommodating home-based businesses, incubating neighborhood-serving retail and service uses and allowing neighborhood main streets to expand as the market demands.</p> <p>House-Scale Building <3 units; Block-Scale Building >3 units</p>	<table border="1"> <tr> <td data-bbox="1253 903 1349 957">D-N</td> <td data-bbox="1349 903 1445 957">D-MS</td> </tr> <tr> <td data-bbox="1253 957 1349 1012">D-C</td> <td></td> </tr> </table>	D-N	D-MS	D-C	
D-N	D-MS				
D-C					
 <p>Main Street. The Main Street Building Type is a small- to medium-sized structure, typically attached. It may be a commercial building or a vertical mixed-use building with ground-floor retail or service uses, and upper-floor service, office, or residential uses. This type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability.</p> <p>Block-Scale Building</p>	<table border="1"> <tr> <td data-bbox="1253 1312 1349 1367">D-N</td> <td data-bbox="1349 1312 1445 1367">D-MS</td> </tr> <tr> <td data-bbox="1253 1367 1349 1421">D-C</td> <td></td> </tr> </table>	D-N	D-MS	D-C	
D-N	D-MS				
D-C					

Key

By Right

By Review

Not Allowed

17.06.730.B.3.a Townhouse



Two and one-half story Townhouses with engaged and projecting porches and gable-ended roofs



Townhouses massed as a single building



A row of two and one-half story Townhouses with stoops

A. Description

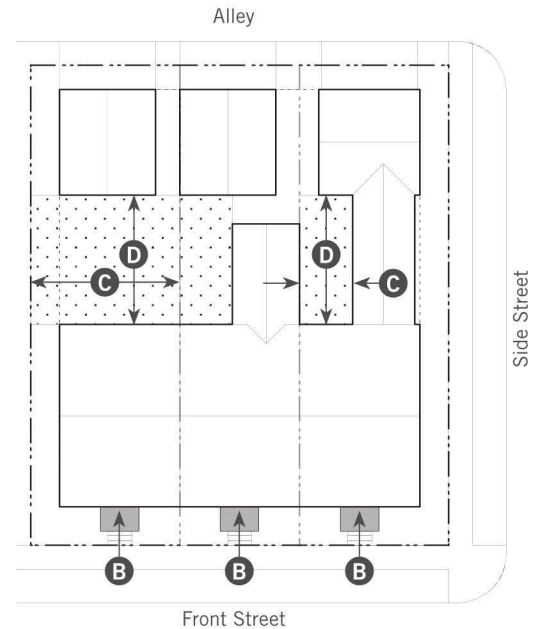
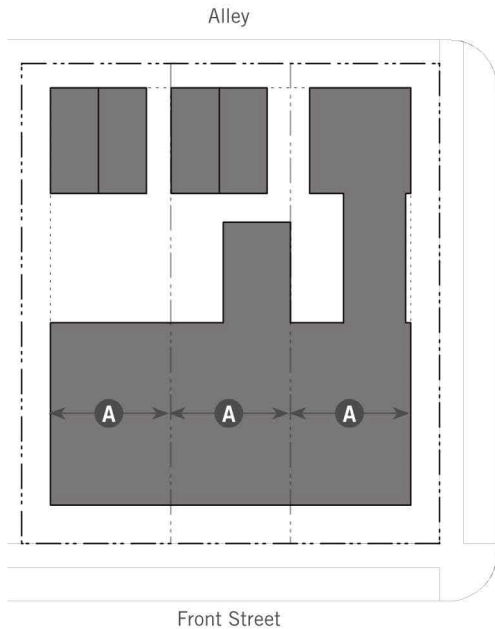
The Townhouse Building Type is a small- to medium-sized typically attached structure that consists of 2–8 Townhouses placed side-by-side. This type may also occasionally be detached with minimal separations between the buildings. This type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

Syn: **Rowhouse**

House-Scale Building <3 units

Block-Scale Building >3 units

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Shared Lot Line¹
- Setback Line
- Building

¹Townhouses may have a shared Lot Line.

B. Number of Units

Units per Townhouse	1 per floor max.
Townhouses Attached in a Single Building	2 min.; 8 max.

C. Building Size and Massing

Main Body

Width per Townhouse	18' min.; 36' max. (A)
---------------------	-------------------------------

Townhouses attached in a single building longer than 150' must be designed to read as a series of buildings no wider than 100' each.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Projecting	17.06.730.C.3.a
Porch: Engaged	17.06.730.C.3.b
Stoop	17.06.730.C.3.c

E. Pedestrian Access

Main Entrance Location	Front street (B)
------------------------	-------------------------

Each unit shall have an individual entry facing a street.

F. Open Space

Private Open Space

Width	8' per unit min. (C)
Depth	8' per unit min. (D)
Area	100 sf per unit min.

Required street setbacks and driveways shall not be included in the private open space area calculation.
 Required private open space shall be located behind the main body of the building.

17.06.730.B.3.b Mansion Apartment



A Mansion Apartment, scaled to a medium-density neighborhood, with all units accessed from a central entry



A Mansion Apartment with shared recessed stoop



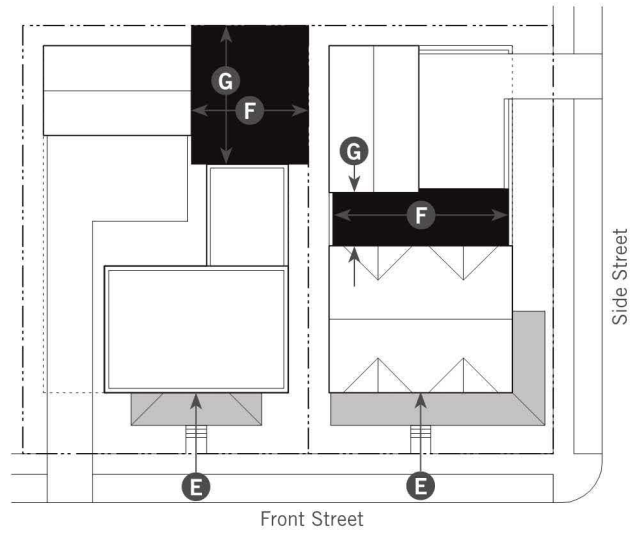
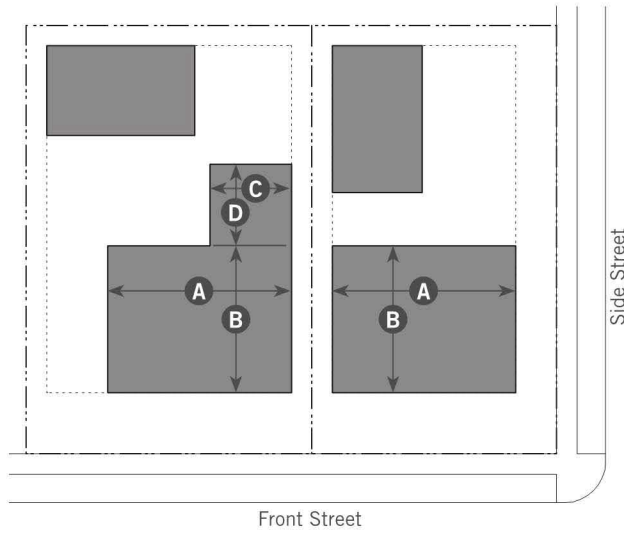
A small Mansion Apartment with shared stoop

A. Description

The Mansion Apartment Building Type is a medium structure that consists of 3–6 side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone.

House-Scale Building

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building	3 min.; 6 max.
Mansion Apartments per Lot	1 max.

C. Building Size and Massing

Main Body

Width	48' max.	A
Depth	48' max.	B

Secondary Wing(s)

Width	30' max.	C
Depth	30' max.	D

The footprint area of an accessory structure may not exceed the footprint area of the main body of the building.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Projecting	17.06.730.C.3.a
Porch: Engaged	17.06.730.C.3.b
Stoop	17.06.730.C.3.c

E. Pedestrian Access

Main Entrance Location	Front street	E
------------------------	--------------	----------

Units located in the main body shall be accessed by a primary entry along the front street.

Each unit may have an individual entry.

F. Open Space

Private Open Space

No private open space requirement.

Common Open Space

Width	15' min.	F
Depth	15' min.	G
Area	400 sf min.	

Required street setbacks and driveways shall not be included in the common open space area calculation. Required common open space shall be located behind the main body of the building.

17.06.730.B.3.c Apartment House



An Apartment House offers denser living options while still maintaining the scale of a single-family neighborhood



An Apartment House with commercial uses.



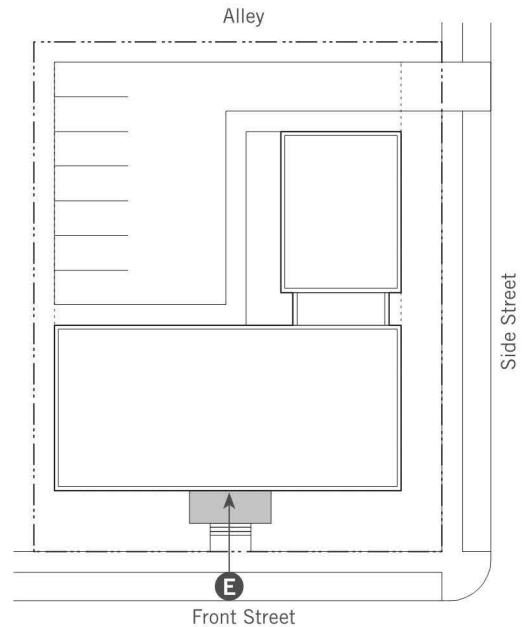
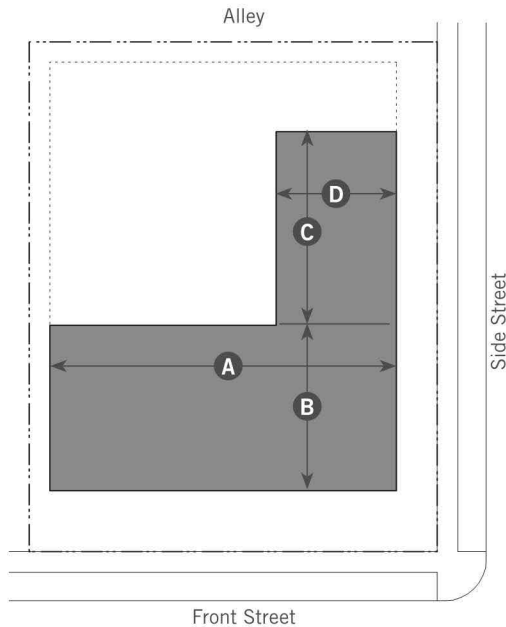
An Apartment House with stacked units and a stoop entry

A. Description

The Apartment House Building Type is a medium-to-large-sized structure that typically consists of 7–18 side-by-side and/or stacked dwelling units (or more when senior housing is used), typically with one shared entry. This type is appropriately scaled to fit within medium-density neighborhoods or sparingly within larger lot predominantly single-family neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone.

House-Scale Building

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building	7 min.; 18 max. typ. ¹
Apartment Houses per Lot	1 max.

¹Senior housing and related uses may exceed the maximum number of units.

C. Building Size and Massing

Main Body

Width	80' max.	A
Depth	75' max.	B

Secondary Wing(s)

Width	48' max.	C
Depth	36' max.	D

The footprint area of an accessory structure may not exceed the footprint area of the main body of the building.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Projecting	17.06.730.C.3.a
Stoop	17.06.730.C.3.c

E. Pedestrian Access

Main Entrance Location Front street **E**
 Units located in the main body shall be accessed by a common entry along the front street.

On corner lots, units in a secondary wing may enter from the side street.

F. Open Space

No open space requirement.

17.06.730.B.3.d Apartment Block



An Apartment Block articulated to appear as a series of townhouses with stoop entries.



An Apartment Block with commercial uses.



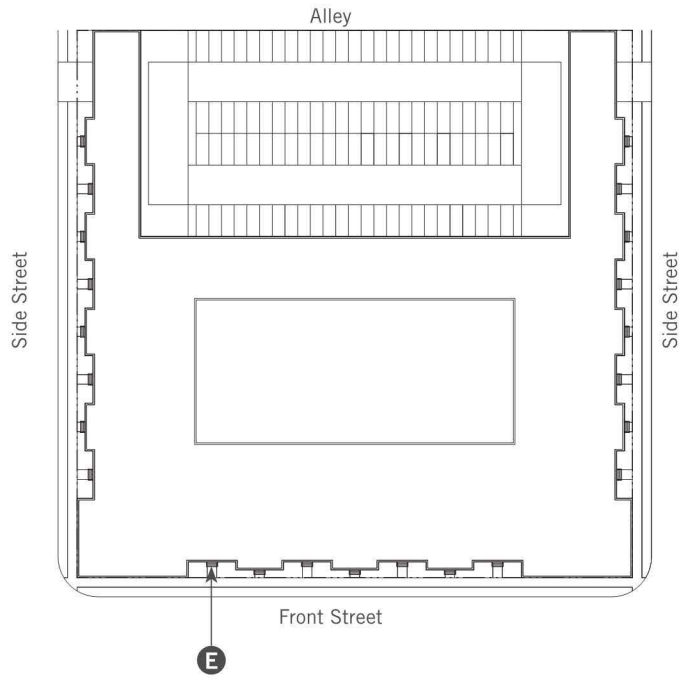
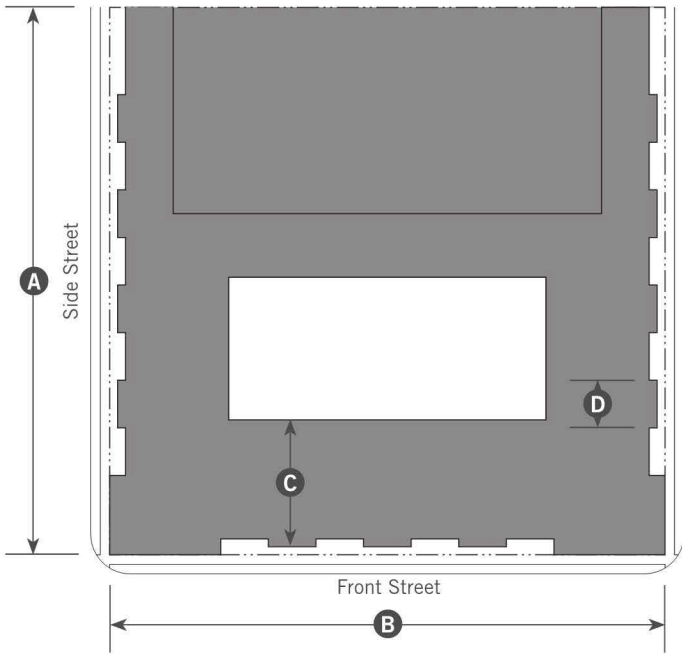
An Apartment Building articulated to appear as a series of townhouses with stoop entries.

A. Description

The Apartment Block Building Type is a large-sized structure that typically consists of 30-300 side-by-side and/or stacked dwelling units (or more when senior housing is used), typically with one shared entry per block face for upper story units and individual entries for ground floor units. The type is intended to occupy at least one half of and up to an entire block, with the building oriented around one or more internal courtyards and incorporating structured and/or subterranean parking facilities accessed from midblock entries. The type is appropriately scaled to fit within medium and high-density neighborhoods and districts. To establish an appropriate scale, the type incorporates frequent vertical articulations that reduce building facades down into a series of smaller forms. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone.

Block-Scale Building

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building 30 min.; 300 max. typ.¹

Apartment Houses per Lot 1 max.

¹Senior housing and related uses may exceed the maximum number of units.

C. Building Size and Massing

Building

Length	550' max.	A
Width	350' max.	B
Depth	75' max.	C
Facade Articulation Length	80' max.	D

The footprint area of an accessory structure may not exceed the footprint area of the main body of the building.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Forecourt	17.06.730.C.3.d
Dooryard	17.06.730.C.3.e
Shopfront	17.06.730.C.3.f
Gallery	17.06.730.C.3.g
Arcade	17.06.730.C.3.h
Terrace	17.06.730.C.3.i

E. Pedestrian Access

Upper floor units located in the main building shall be accessed by a common primary entry along the front street. **D**

Ground floor units may have individual entries along the front street or side street. **E**

F. Open Space

No open space requirement.

z

17.06.730.B.3.e Live/Work



Live/Work buildings with shopfronts offer zero-commute living and working spaces



Generous ground-floor ceiling heights provide flexibility



Live/Work units provide space for smaller uses

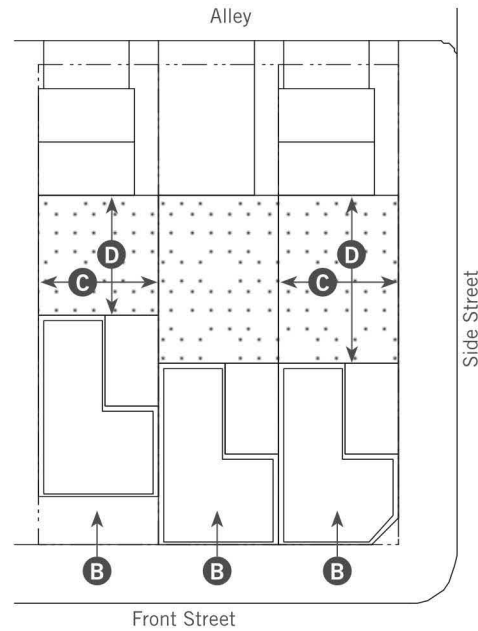
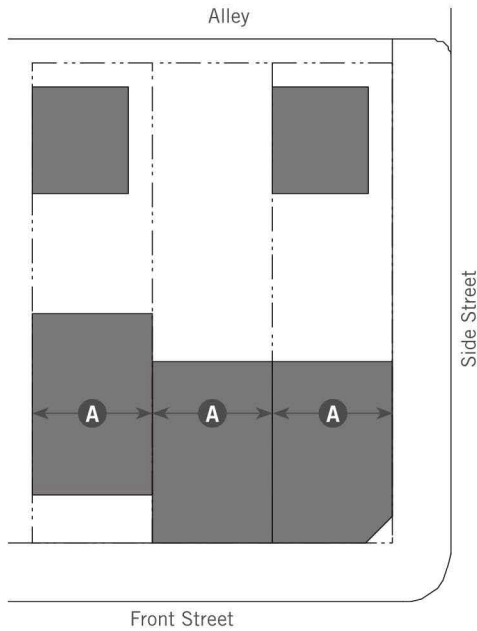
A. Description

The Live/Work Building Type is a small to medium-sized attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into a neighborhood main street. It is especially appropriate for accommodating home-based businesses, incubating neighborhood-serving retail and service uses and allowing neighborhood main streets to expand as the market demands.

House-Scale Building <3 units

Block-Scale Building >3 units

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

- Units per Live/Work Building 2 max.
- Live/Work Buildings Attached in a Single Building 2 min.; 8 max.

C. Building Size and Massing

Main Body

- Width per Live/Work Building 18' min.; 36' max. **(A)**
- Attached Live/Work buildings forming a single building longer than 150' must be designed to read as a series of buildings no wider than 100' each.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

- Forecourt 17.06.730.C.3.d
- Dooryard 17.06.730.C.3.e
- Shopfront 17.06.730.C.3.f
- Gallery 17.06.730.C.3.g

E. Pedestrian Access

- Main Entrance Location Front street **(B)**
- Work space and living quarters shall have separate entries.

F. Open Space

Private Open Space

- Width 8' min. **(C)**
- Depth 15' min. **(D)**

17.06.730.B.3.f Main Street



A two story Main Street building with shopfront frontage with awnings



Main Street building with bay windows



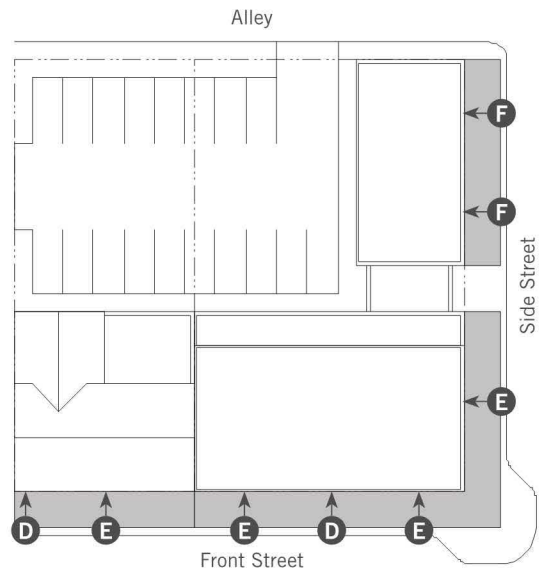
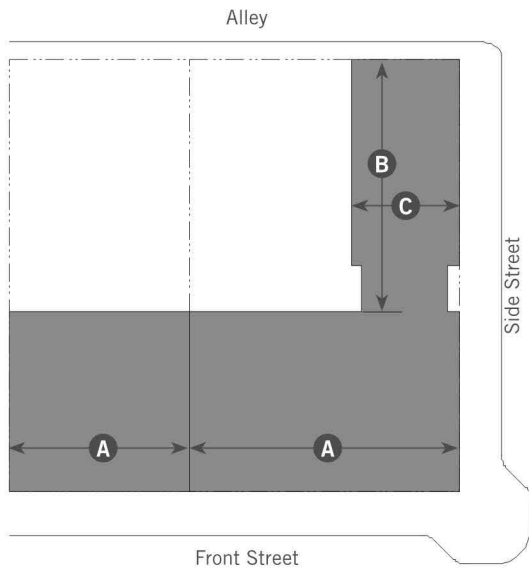
Main Street building with massing that shapes corner plaza

A. Description

The Main Street Building Type is a small- to medium-sized structure, typically attached. It may be a commercial building or a vertical mixed-use building with ground-floor retail or service uses, and upper-floor service, office, or residential uses. This type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability.

Block-Scale Building

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building no min./no max.

C. Building Size and Massing

Main Body

Width 150' max. **A**

Secondary Wing(s)

Width 100' max. **B**

Depth 65' max. **C**

Buildings wider than 100' must be designed to read as a series of buildings no wider than 75' each.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Forecourt [17.06.730.C.3.d](#)

Dooryard [17.06.730.C.3.e](#)

Shopfront [17.06.730.C.3.f](#)

Gallery [17.06.730.C.3.g](#)

Arcade [17.06.730.C.3.h](#)

Terrace [17.06.730.C.3.i](#)

E. Pedestrian Access

Upper floor units located in the main building shall be accessed by a common primary entry along the front street. **D**

Ground floor units may have individual entries along the front street or side street. **E**

On corner lots, units in a secondary wing/ accessory structure may enter from the side street. **F**

F. Open Space

No open space requirement.

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17.06.730.C: Specific to Private Frontages

17.06.730.C.1 Purpose

This **Sub-Section** sets forth the standards applicable to the development of private frontages. Private frontages are the components of a building that provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). These standards supplement the standards for each transect zone in which the frontage types are allowed. For each frontage type, a description, a statement of the type's intent, and design standards are provided. These standards are intended to ensure development that establishes or reinforces the highly-valued character and scale of the downtown center for Rohnert Park.

17.06.730.C.2 Applicability

- a. The requirements of this **Sub-Section** shall apply to all proposed development within the Rohnert Park Center zones, and shall be considered in combination with the standards for the applicable zone in **Section 17.06.720 (Specific to Zones)** and in the rest of this **Sub-Section**.
- b. Development with Civic and Agricultural land uses otherwise allowed in this Chapter shall comply with the standards for the applicable zone in **Section 17.06.720 (Specific to Zones)**, but shall not be required to meet the standards of this **Sub-Section**.

17.06.730.C.3 Frontage Types

Table 17.06.730.C.3.a (Frontage Types General) provides an overview of the allowed frontage types.

Table 17.06.730.C.3.a: Frontage Types General

The private frontage is the area between the building facade and the lot line.

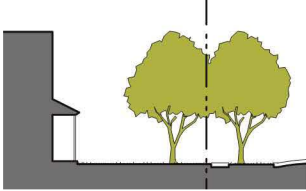
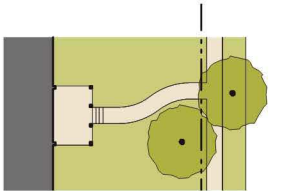
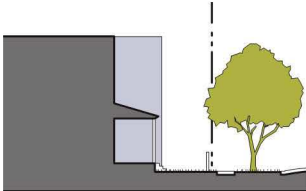
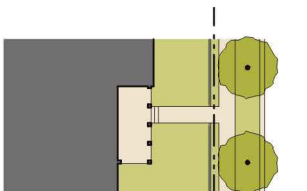
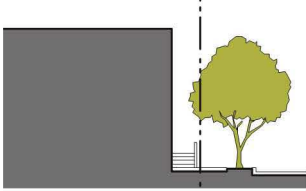
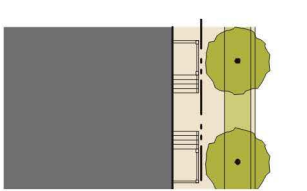
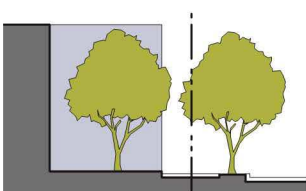
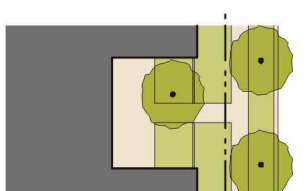
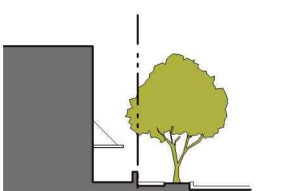
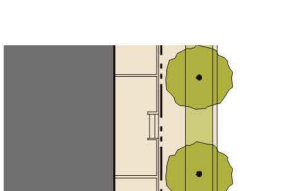
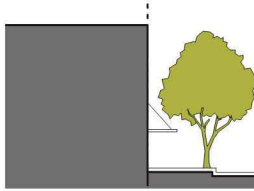



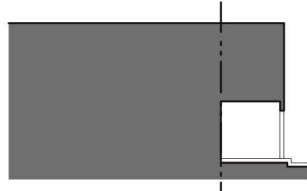

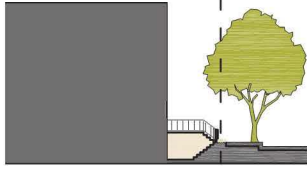
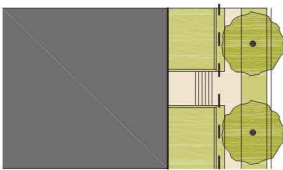
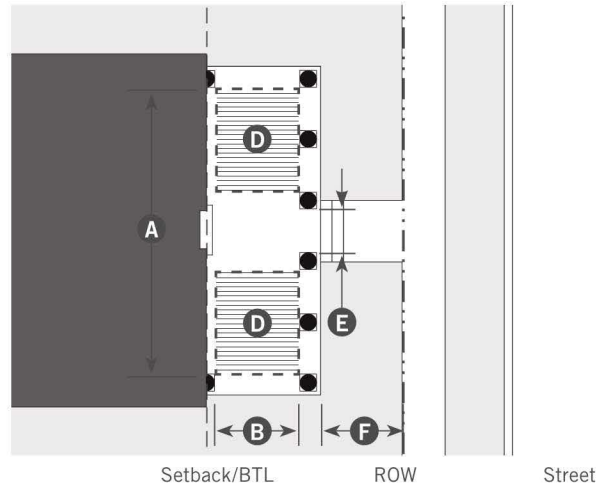
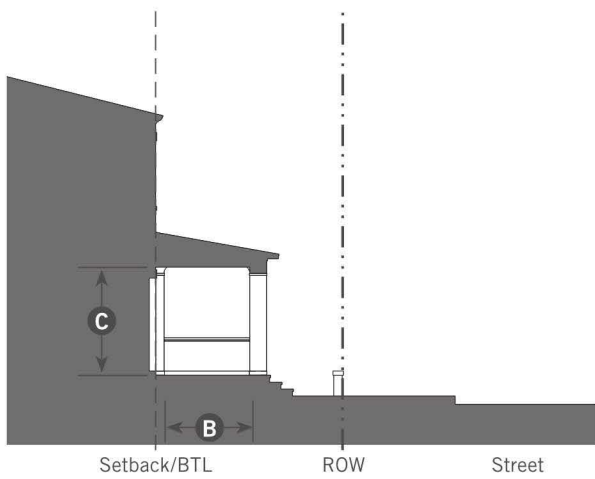
	Section	PLAN
	LOT/ PRIVATE FRONTAGE > < R.O.W.	LOT/ PRIVATE FRONTAGE > < R.O.W.
<p>Porch: Projecting. The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and all habitable space is located behind the setback line.</p>		
<p>Porch: Engaged. The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are engaged to the building while the other two sides are open.</p>		
<p>Stoop. The main facade of the building is near the frontage line, and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.</p>		
<p>Forecourt. The main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.</p>		
<p>Dooryard. The main facade of the building is set back a small distance and the frontage line is defined by a low wall or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential.</p>		

Table 17.06.730.C.3.a: Frontage Types General (continued)

The private frontage is the area between the building facade and the lot line.

	Section	PLAN
	LOT/ PRIVATE FRONTAGE > < R.O.W.	LOT/ PRIVATE FRONTAGE > < R.O.W.
<p>Shopfront. The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.</p> <p>Syn: Retail Frontage, Awning.</p>		
<p>Gallery. The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk. This type is intended for buildings with ground-floor commercial uses and may be one or two stories. The gallery should provide the primary circulation along a frontage and extend far enough from the building to provide adequate protection and circulation for pedestrians.</p>		
<p>Arcade. A covered walkway with habitable space above often encroaching into the ROW. The arcade should extend far enough from the building to provide adequate protection and circulation for pedestrians. This type is intended for buildings with ground floor commercial uses and is common along public courtyards and paseos.</p>		
<p>Terrace. The main facade of the building is at or near the frontage line with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type may also be used in historic industrial areas to mimic historic loading docks.</p>		

17.06.730.C.3.a Porch: Projecting



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Porch: Projecting Frontage Type, the main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and all habitable space is located behind the setback line.

B. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Height	2 stories max.	
Furniture Area, Clear	4' x 6' min.	D
Path of Travel	3' wide min.	E
Distance between Porch and Sidewalk	5' min.	F

C. Miscellaneous

Projecting porches must be open on three sides and have a roof.

In zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.

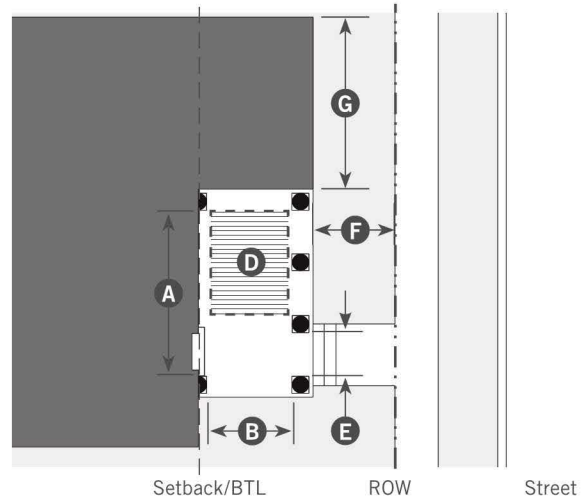
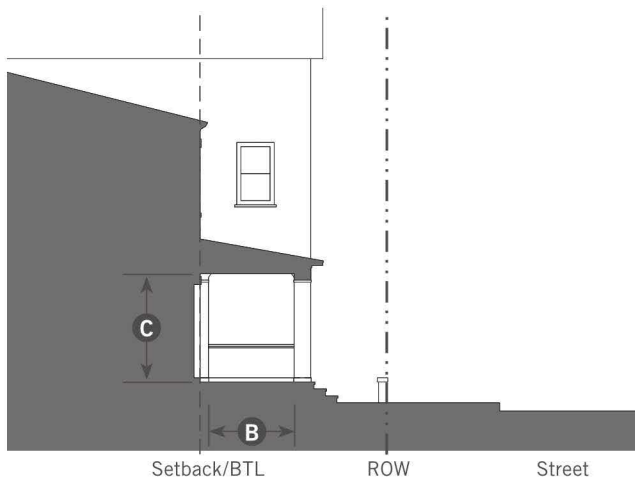


Example of projecting porch.



Example of wrap-around projecting porch on the front and side street facades

17.06.730.C.3.b Porch: Engaged



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Porch: Engaged Frontage Type, the main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are engaged to the building while the other two sides are open.

B. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Height	2 stories max.	
Furniture Area, Clear	4' x 6' min.	D
Path of Travel	3' wide min.	E
Width between Porch and Sidewalk	5' min.	F

C. Miscellaneous

Up to 2/5 of the building facade may project beyond the setback line into the encroachment area for this frontage type. **G**

Engaged porches must be open on two sides and have a roof.

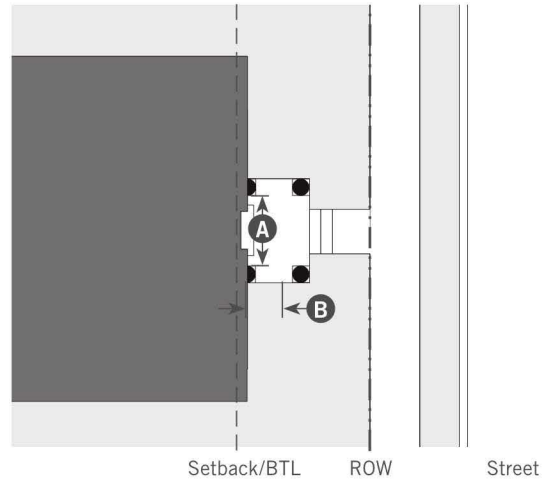


Example of an engaged porch



Two-story porch on a mixed-use building

17.06.730.C.3.c Stoop



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Stoop Frontage Type, the main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.

B. Size

Width, Clear	5' min.; 8' max.	A
Depth, Clear	5' min.; 8' max.	B
Height, Clear	8' min.	C
Height	1 story max.	
Depth of Recessed Entries	6' max.	

C. Miscellaneous

Stairs may be perpendicular or parallel to the building facade.

Ramps shall be parallel to facade or along the side of the building.

Entry doors are covered or recessed to provide shelter from the elements.

Gates are not permitted.

All doors face the street.

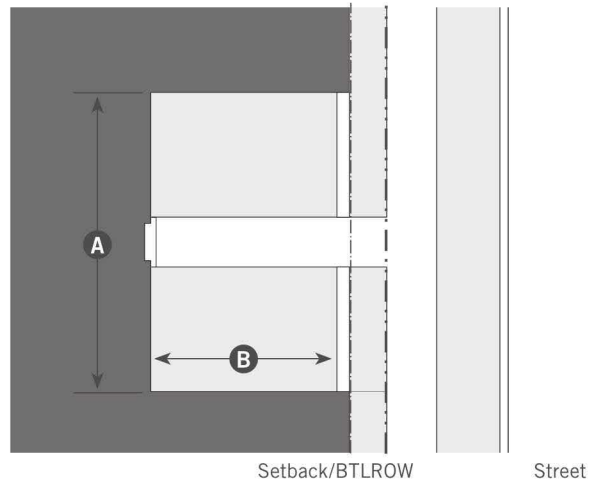
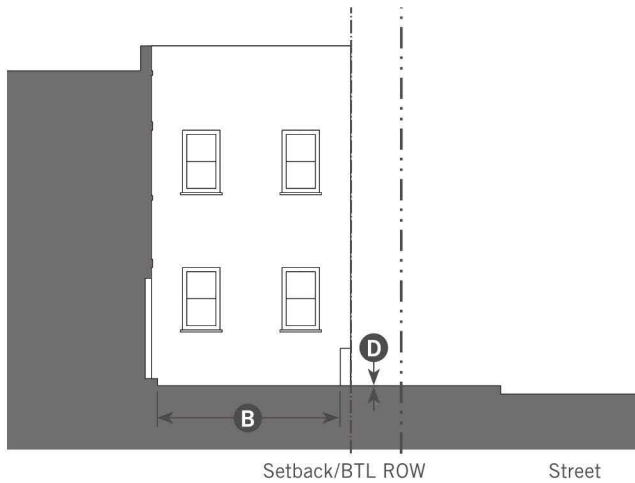


High stoop clears space for low windows along a steep street.



Example of uniquely shaped stoop

17.06.730.C.3.d Forecourt



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

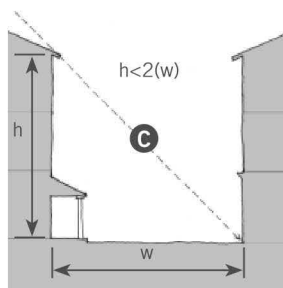
In the Forecourt Frontage Type, the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.

B. Size

Width, Clear	12' min.	A
Depth, Clear	12' min.	B
Ratio, Height to Width	2:1 max.	C
Height from sidewalk	4' max.	D

C. Miscellaneous

The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.

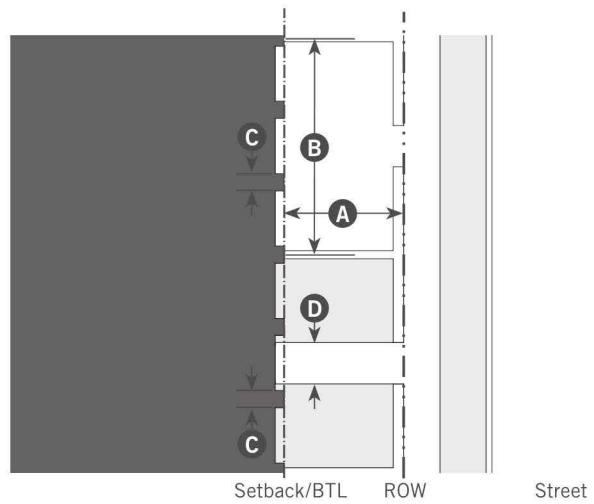
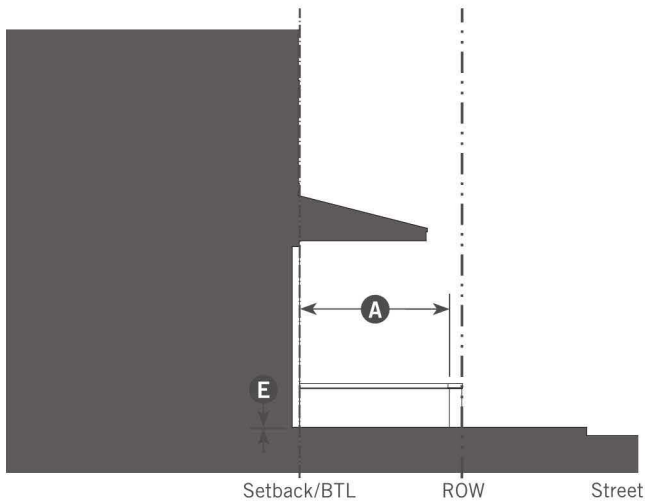


This forecourt visually extends the public realm into the lot.



This residential forecourt provides an entry yard and breaks down the overall massing along the street.

17.06.730.C.3.e Dooryard



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Dooryard Frontage Type, the main facade of the building is set back a small distance, and the frontage line is defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard does not provide public circulation along a public ROW. The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential or commercial.

B. Size

Depth, Clear	8' min.	A
Length	50' max.	B
Distance between Glazing	4' max.	C
Ground Floor Transparency	50% min. ¹	
Depth of Recessed Entries	5' max.	
Path of Travel	3' wide min.	D
Finish Level above Sidewalk	3' 6" max.	E
Finish Level below Sidewalk	6' max.	

¹ For live/work, retail and service uses only

C. Miscellaneous

For live/work, retail and service uses, these standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Dooryard Frontage Type standards shall prevail.

Shall not be used for circulation for more than one ground floor entry.

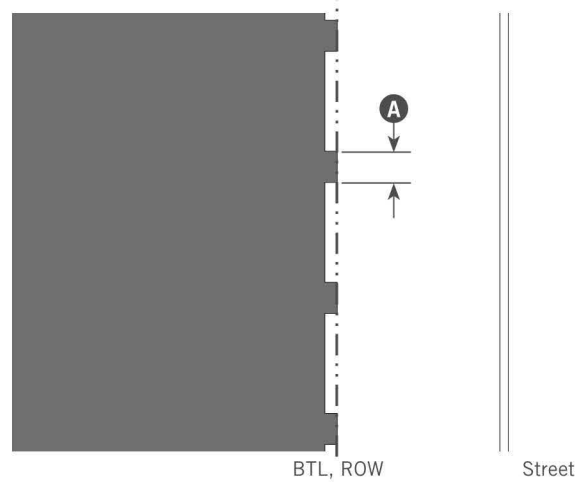
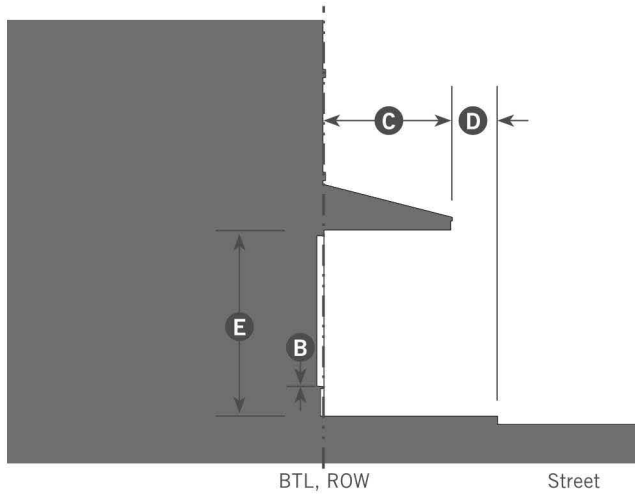


A series of traditional dooryards with low fences defining the private edge, and stairs engaging the sidewalk



An example of a series of small commercial dooryards

17.06.730.C.3.f Shopfront



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Shopfront Frontage Type, the main facade of the building is at or near the frontage line with at-grade entrance along the sidewalk. This type is intended for retail use, has substantial glazing between the bulkhead and the ground floor ceiling, and may include an awning that overlaps the sidewalk. The Shopfront may be used in conjunction with other frontage types.

B. Size

Distance between Glazing	2' max.	A
Ground Floor Transparency	75% min.	
Depth of Recessed Entries	5' max.	
Bulkhead	8" min.; 30" max.	B

C. Awning

Depth	4' min.	C
Setback from Curb	2' min.	D
Height, Clear	8' min.	E

D. Miscellaneous

- Residential windows shall not be used.
- Doors may be recessed when main facade is at BTL.
- Operable awnings and open-ended awnings are allowed.
- Rounded and hooped awnings are not allowed unless part of a historically designated building.
- Accordion-style doors/windows or other operable windows that allow the space to open to the street are allowed.

Adopted November 27, 2018

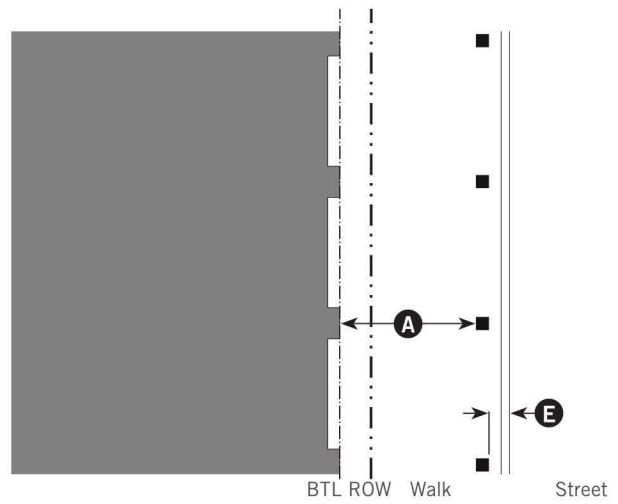
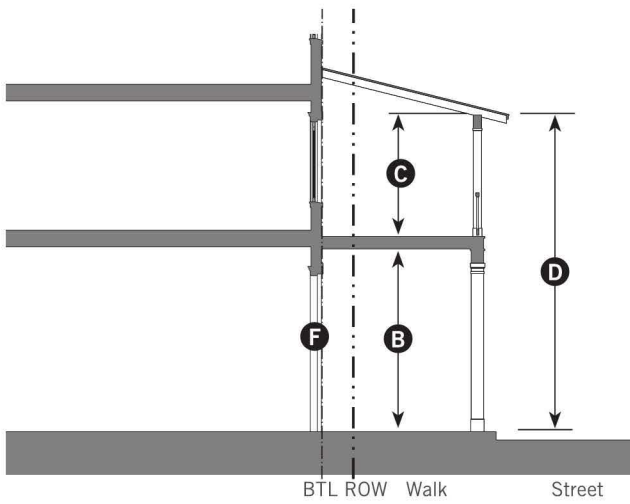


Example of a shopfront with a recessed entrance.



Example of a shopfront with pilastered bays

17.06.730.C.3.g Gallery



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

The main façade of the building is at or near the frontage line and the gallery element overlaps the sidewalk of the right-of-way. This Frontage Type is intended for buildings with ground-floor commercial or retail uses and may be one or two stories. Due to the overlap of the right-of-way, an easement is usually required. Alternatively the lot line shall be aligned with the edge of the gallery and curb, and a sidewalk is established within an easement under the gallery.

B. Size

Depth, Clear	8' min.	A
Ground Floor Height, Clear	11' min.	B
Upper Floor Height, Clear	9' min.	C
Height	2 stories max.	D
Setback from Curb	2' min.; 3' max.	E

C. Miscellaneous

Galleries must also follow all of the regulations for the Shopfront Frontage Type. **F**

Upper-story galleries facing the street must not be used to meet primary circulation requirements.

Galleries must have a consistent depth along a frontage.

Gallery must project over a sidewalk.

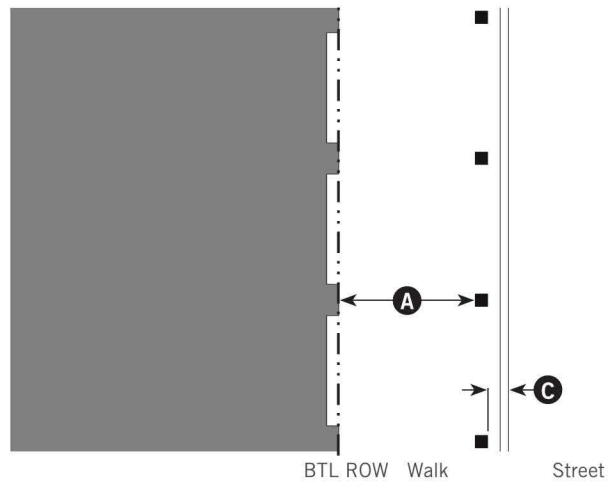
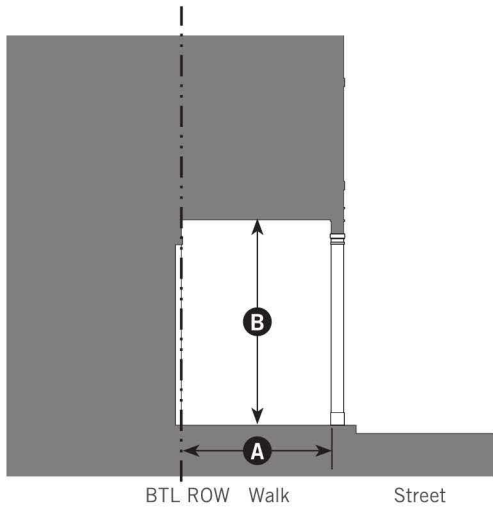


A two story gallery where the second floor is uncovered.



A two-story gallery frontage.

17.06.730.C.3.h Arcade



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

A covered walkway with habitable space above often encroaching into the ROW. The arcade should extend far enough from the building to provide adequate protection and circulation for pedestrians. This type is intended for buildings with ground floor commercial uses and is common along public courtyards and paseos.

B. Size

Depth, clear	12' min.	A
Ground floor height, clear	14' min. clear	B
Setback from edge of curb	1' min./2' max ¹	C

¹Setback may be greater than 2' if Arcade is located completely outside of ROW.

C. Miscellaneous

These standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Arcade standards shall prevail.

Arcades must have a consistent depth along a frontage.

Arcades with more than 2 floors of habitable space above the colonnade may not encroach onto a Public ROW, and must be located so that it abuts a public ROW.

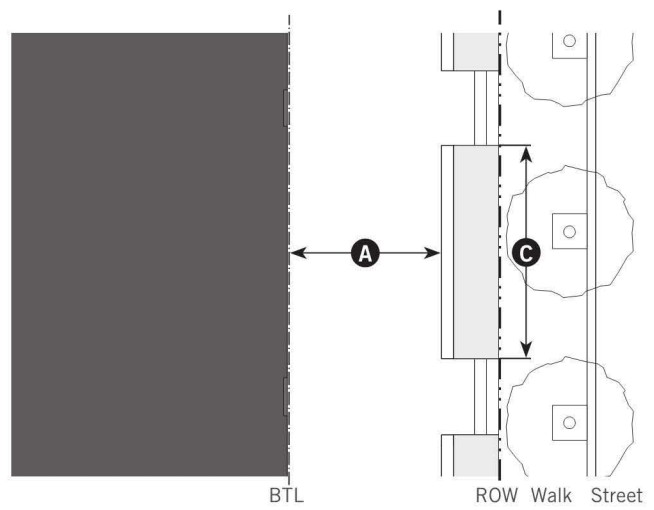
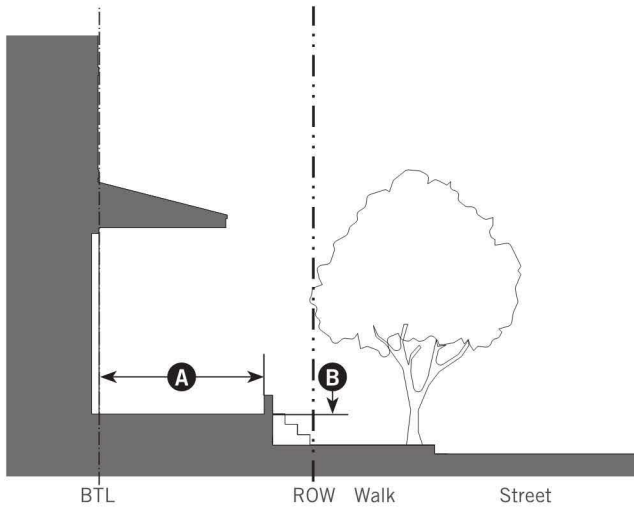


An example of an arcade located at the back of a sidewalk, abutting the public ROW



An example of an arcade encroaching the public ROW. The arcade provides the only means of circulation along the ROW.

17.06.730.C.3.i Terrace



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

The main facade is at or near the frontage line with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid blank sections of walls and to maximize access. This type may also be used in historic industrial areas to mimic historic loading docks.

B. Size

Depth, clear	8' min.	A
Finish Level above Sidewalk	3'6" max.	B
Length of Terrace	150' max.	
Distance between Stairs	50' max.	C

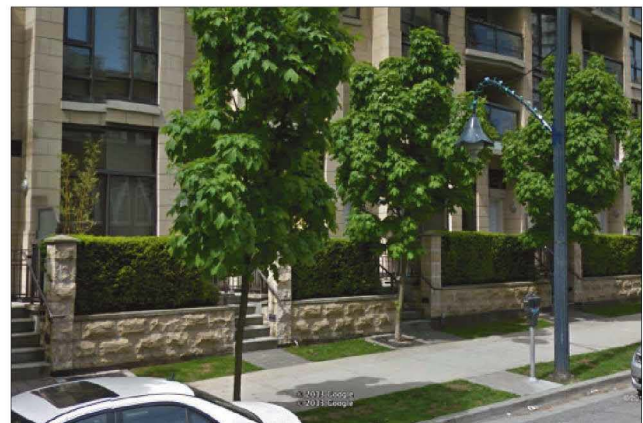
C. Miscellaneous

These standards are to be used in conjunction with those for the Shopfront Frontage Type where the Form-Based Zone requires the Shopfront Type.

Low walls used as seating are allowed.



Terrace is used to accommodate a change in grade with low walls to provide seating.



One terrace spans across four residential units with individual entries separated by landscaping.

Section 17.06.740: Permits and Procedures

17.06.740.A: Purpose and Applicability

- 17.06.740.A.1 Purpose
- 17.06.740.A.2 Applicability
- 17.06.740.A.3 Planning Approvals and Review Authority

17.06.740.B: Application Requirements, Review, and Processing

- 17.06.740.B.1 Application Requirements and Review
- 17.06.740.B.2 Noticing Requirements

17.06.740.C: Minor Modifications

- 17.06.740.C.1 Purpose
- 17.06.740.C.2 Applicability
- 17.06.740.C.3 Application Filing and Processing
- 17.06.740.C.4 Findings for a Decision on a Minor Modification
- 17.06.740.C.5 Review and Decision
- 17.06.740.C.6 Lapse of Approval Extension and Renewal

17.06.740.D: Design Review

- 17.06.740.D.1 Purpose
- 17.06.740.D.2 Applicability
- 17.06.740.D.3 Design Review Board
- 17.06.740.D.4 Application Filing and Processing
- 17.06.740.D.5 Public Hearing and Notice
- 17.06.740.D.6 Findings for a Decision on a Design Review
- 17.06.740.D.7 Decision and Appeals
- 17.06.740.D.8 Lapse of Approval

17.06.740.A: Purpose and Applicability

1. Purpose

- a. The purpose of this Section is to establish procedures for the preparation, filing, and processing of applications for development permits and other entitlements required by the Downtown District Amenity Zone Form-Based Code Overlay (DDAZ FBC Overlay) that are in addition to those established in Chapter 17.25 (Administrative and Enforcement Procedures) and enforced by the Department Director, Planning Commission, and City Council, as applicable.

2. Applicability

The provisions of this Section are applied to any development within the DDAZ Overlay as provided in [Subsection 17.06.700.A.2 \(Applicability\)](#).

3. Planning Approvals and Review Authority

- a. **Planning Approvals.** All development must be established, constructed, reconstructed, enlarged, altered, moved or replaced in compliance with the following requirements:
 - i. Allowable land use. The land use must be allowed pursuant to [Table 17.06.720.B \(Use Table\)](#) and the standards in the Zone where the development is located.
 - ii. Entitlements and Approvals. Any and all entitlements or other approvals required by this DDAZ FBC Overlay must be obtained before the issuance of any required grading, building, or other construction permits, and before the proposed use is established, constructed, or put into operation.
 - iii. Development Standards. The regulation of lot sizes, setbacks, open space requirements, architectural and landscaping standards, maximum building height, lot coverage, and all other development standards are established in [Sections 17.06.720 \(Specific to Zones\)](#) and [17.06.730 \(Supplemental to Zones\)](#).
 - iv. Design Review. Prior to processing an application that is subject to the DDAZ FBC Overlay, pursuant to [Section 17.06.740.D \(Design Review\)](#) an applicant must obtain written approval from the Downtown Design Review Board (DDRDB) confirming that the application meets all the applicable requirements of the DDAZ FBC Overlay standards.
 - v. Permitted Uses. The regulation of permitted, conditionally-permitted, or administratively-permitted uses is provided in [Section 17.06.720.B \(Use Table\)](#).

- vi. Property zoned P-D or Station Center P-D is required to follow the application and approval procedures for Preliminary Development Plans and Final Development Plans as described in [Section 17.06.250 \(Procedure\)](#), except that approval of a Conditional Use Permit as required by [Section 17.06.250.C](#) is not required.
- vii. When not in conflict with the provisions of this Section, applications for property not zoned P-D or Station Center P-D within the DDAZ FBC Overlay are subject to all of the legislative, administrative, and permit procedures as established in the Rohnert Park Municipal Code, including:
 - a) Conditional use permits ([Chapter 17.25, Article I](#));
 - b) Minor Modifications ([Section 17.06.740.C](#))
 - c) Variances ([Chapter 17.25, Article II](#));
 - d) Temporary conditional use permit ([Chapter 17.25, Article IV](#));
 - e) Administrative permit ([Chapter 17.25, Article V](#));
 - f) Certificate of Zoning Compliance ([Chapter 17.25, Article VI](#));
 - g) Amendments ([Chapter 17.25, Article VII](#)) – also refer to [Section 17.06.740.D \(Design Review\)](#);
 - h) Appeals ([Chapter 17.25, Article XII](#)); and
 - i) Subdivisions ([Title 16](#)).

b. Review Authority

- i. [Table 17.06.740.A.3.a \(Review Authority\)](#) identifies the City official or body responsible for reviewing and making decisions on each type of application required by the DDAZ FBC Overlay.
- ii. All applications for property designated with the DDAZ FBC Overlay are subject to the review and approval of the review authority(s) identified in [Table 17.06.740.A.3.a](#).

Table 17.06.740.A.3.a: Review Authority

Type of Action	Applicable Code Section	Director/ Zoning Administrator	DDRB	PC	CC
Interpretation	17.02.040	Decision	--	Appeal	Appeal
Zone Change	17.25, Article VII	Recommendation	--	Decision	Appeal
Administrative Permit (A)	17.25, Article V	Decision	--	Appeal	Appeal
Conditional Use Permit (CUP)	17.25, Article I	Recommendation	--	Decision	Appeal
Minor Modification	17.06.740.C	Decision	--	Appeal	Appeal
Design Review	17.06.740.D	Recommendation	Decision	--	Appeal
Variance	17.25, Article II	Recommendation	--	Decision	Appeal
Certificate of Zoning Compliance	17.25, Article VI	Decision	--	Appeal	Appeal

1 Unless referred to the Planning Commission pursuant to [Subsection 17.04.740D.4.c \(Administrative Options\)](#).

DDRB: Downtown Design Review Board

PC: Planning Commission

CC: City Council

17.06.740.B: Application Requirements, Review, and Processing

1. **Application Requirements and Review.** Applications for building permits, grading permits and any other land use entitlements submitted to the City shall be reviewed and processed pursuant to [Chapter 17.25 \(Administrative and Enforcement Procedures\)](#).
2. **Noticing Requirements.** Noticing must comply with [Chapter 17.25, Article XI \(Notices\)](#).

17.06.740.C: Minor Modifications

1. **Purpose.** The purpose of a minor modification is to enable the Department Director to approve minor deviations from DDAZ FBC Overlay standards when requests constitute a reasonable use of property but are not otherwise permissible under the strict application of the DDAZ FBC Overlay.
2. **Applicability**
 - a. This Subsection is applicable to all development standards of the DDAZ FBC Overlay.
 - b. The Department Director may approve a minor modification only after first determining that the requested modification meets the findings specified in Subsection 4 (Findings for a Decision on a Minor Modification).
 - c. A minor modification may be approved as specified in [Table 17.06.740.C.2.a \(Minor Modifications\)](#).

Table 17.06.740.C.2.a: Minor Modifications

Type of Minor Modification Allowed	Maximum Modification
Increase in block length requirements	5%
Decrease/increase in frontage requirements (e.g. front setback and/or build-to line)	10%
Decrease/increase in required rear or side setback	10%
Increase in allowed building height	10%
Increase in driveway width (or impervious surface maximums)	10%
Decrease in minimum sidewalk width	Determined on a case-by-case basis
Decrease/increase in the number of parking spaces	Determined on a case-by-case basis based on use and the potential for shared parking
Reduction in the landscaping requirements	Determined on a case-by-case basis
Reduction in civic space requirements	10%

- d. An authorization to approve a minor modification does not extend to making any changes in the uses permitted in any zone.
3. **Application Filing and Processing.** The application shall be filed with the Department Director and include the information and materials in the most current planning department publication for applications together with the required fee as specified in the City fee schedule (see [Section 17.06.450, \(Fees\)](#)). The applicant is responsible for providing evidence in support of the findings required by Subsection 4 (Findings for a Decision on a Minor Modification).
 4. **Findings for a Decision on a Minor Modification.** The Department Director may approve, conditionally approve, or deny a minor modification application, only after each of the following findings are made:

- a. There are special circumstances applicable to the property (e.g., size, shape, topography, location, surroundings, etc.) such that the strict application of the DDAZ FBC Overlay could deprive the property of privileges enjoyed by other property in the vicinity and under identical zoning classification;
- b. The special circumstances applicable to the property are not self-imposed by any person presently having an interest in the property;
- c. The requested minor modification will not allow the establishment of a use that is not otherwise allowed in the zone;
- d. Granting the minor modification will not be materially detrimental to the public health, safety, or welfare and will not impair an adequate supply of light and air to adjacent property;
- e. The development is consistent with the General Plan;
- f. The requested minor modification provides the minimal relief necessary to achieve the intent of the DDAZ FBC Overlay; and
- g. The development complies with all applicable standards of this Section and [Chapter 17.25 \(Administrative and Enforcement Procedures\)](#).

5. Review and Decision

- a. Each minor modification application shall be reviewed on an individual case-by-case basis. The approval of a prior minor modification is not admissible evidence for the approval of a new minor modification.
- b. The decision of the Department Director may be made without the need for a public hearing. Unless appealed, a decision by the Department Director shall become final on the 11th day following the day the decision is rendered.
- c. A decision on a minor modification may be appealed pursuant to [Chapter 17.25, Article XII \(Appeals\)](#).

6. Lapse of Approval Extension and Renewal

- a. A minor modification shall lapse one year after the date of final approval or at an alternative date specified at the time of approval, unless:
 - i. A building permit has been issued and construction has diligently commenced;
 - ii. A certificate of occupancy has been issued;
 - iii. The use is established; or
 - iv. The minor modification is renewed in accordance with Subsection 6.b.
- b. A minor modification approval may be renewed for an additional period of one year, provided that prior to the expiration date, an application for renewal of the minor modification is filed with the planning and community

director. The Department Director may grant the renewal if the original findings of approval remain satisfied. If the Department Director denies the renewal request, the applicant has 10 calendar days to appeal the decision to the Planning Commission in compliance with [Chapter 17.25, Article XII \(Appeals\)](#).

17.06.740.D: Design Review

1. **Purpose.** This Section establishes procedures for the review and approval or denial of Design Review with the intent to promote orderly development and an aesthetically and environmentally pleasing and economically viable community in compliance with the General Plan, and the standards specified in the DDAZ FBC Overlay.
2. **Applicability.**
 - a. Design Review applies to any permitted, conditionally permitted, or administratively permitted use listed in [Section 17.06.720 \(Specific to Zones\)](#).
 - b. Design Review by the Downtown Design Review Board (DDRB) is required for all new buildings or structures and additions or alterations to existing structures.
 - c. Prior to processing applications for building permits, grading permits and any other land use entitlements, an applicant must obtain written approval from the DDRB that the project meets the requirements of the DDAZ FBC Overlay.
3. **Design Review Board.** The DDRB consists of a minimum of three members and a maximum of five members appointed by the Planning Commission. In lieu of creating a separate DDRB, the Planning Commission may serve as the DDRB.
4. **Application Filing and Processing.** An application for Design Review must be filed with the Department Director. The applicant is responsible for providing evidence in support of the findings required by Subsection 6 (Findings for a Decision on a Design Review).
 - a. **Submittal Requirements**

The following drawings shall be submitted to the DDRB with an application for any site plan review, conditional use permit, planned unit development, tentative subdivision map, tentative parcel map, or administrative approval permit;

 - i. Architectural drawings, drawn to scale, showing all elevations of the proposed structures by point of compass, as they will appear upon completion of construction. All exterior surfacing materials and colors must be specified.

- ii. Scale drawings of all signs by point of compass that are subject to Design Review, showing size, location, material, colors and any proposed illumination.
- iii. The DDRB may require additional information from the applicant if necessary to carry out the purpose of the DDAZ FBC Overlay.

b. Regulating Plan

- i. An application for development on a property that involves multiple DDAZ zones as defined in Section 17.06.700.B (Establishment and Designation of Zones) must submit a regulating plan as a part of the Design Review application.
- ii. Only the DDAZ zones established in [Section 17.06.720 \(Specific to Zones\)](#) may be used. The regulating plan for the property must include the following information:
 - a) Project area boundaries;
 - b) Existing and proposed blocks;
 - c) Existing and proposed thoroughfares, including alleys;
 - d) Existing and proposed civic space types; and
 - e) Existing and proposed transect zone(s) conforming to the proposed blocks.
- iii. Properties located within only one transect zone as defined in Section [Section 17.06.720 \(Specific to Zones\)](#) do not need to submit a regulating plan as a part of the Design Review application.
- iv. The Department Director may approve a modification in the location of a transect zone boundary or the location of a proposed thoroughfare within or adjacent to property provided that the intent and purpose of the DDAZ FBC Overlay as established in Section 17.06.700.A.1 (Purpose and Intent) is maintained and supported.

c. Administrative Options

- i. The DDRB may approve, conditionally approve, or disapprove a Design Review application.
- ii. The Department Director may refer a Design Review application to the Planning Commission with or without a recommendation when it is determined that unique or special circumstances exist. The Planning Commission shall then conduct a public hearing pursuant to Chapter 25, Article XI (Notices).

- iii. The review authority may approve or conditionally approve the application based on the findings listed in Subsection 6 (Findings for a Decision on a Design Review).
 - d. **Lapse of Submittals.** If after applying for Design Review the applicant fails to provide changes or additional information necessary to enable the review authority to make a decision on the project, and there is no activity taking place in connection with the application for a period of six months, the application shall be revoked and the applicant so informed.
- 5. **Public Hearing and Notice.** Applications for Design Review are not subject to a public hearing or noticing requirements unless the application is referred to the Planning Commission.
- 6. **Findings for a Decision on Design Review.** The review authority shall approve, conditionally approve, or deny a Design Review application only after the following findings are made:
 - a. The proposed development is consistent with the General Plan and any applicable specific plan;
 - b. The proposed development is consistent with all the applicable standards of this [Section and Chapter 17.25 \(Administrative and Enforcement Procedures\)](#);
 - c. The proposed development will not be detrimental to the public health, safety, or general welfare;
 - d. The proposed development substantially complies with the City of Rohnert Park Design Guidelines (Design Guidelines) for Commercial, Mixed-Use and Multi-Family Buildings and the Central Rohnert Park Priority Development Area Plan (PDA Plan). In the event of a conflict between the Design Guidelines and the PDA Plan, the guidelines in the PDA Plan shall apply;
 - e. The proposed development has an appropriate relationship to land use and development of adjacent properties, including topographic and other physical characteristics of the land; and
 - f. The proposed development has a compatible architectural style with the character of the surrounding area, both to avoid repetition of identical design where not desired, and to ensure compatibility in design where desired.
- 7. **Decision and Appeals.** The decision of the review authority is final 10 calendar days after the decision is rendered, unless appealed to the City Council or Planning Commission pursuant to [Section 17.25.034 \(Decision/appeal\)](#) and [Chapter 17.25, Article XII \(Appeals\)](#).

8. Lapse of Approval.

- a. Design Review approval will lapse one year after the date of final approval or at an alternative date specified at the time of approval, unless:
 - i. A building permit has been issued and construction has diligently commenced;
 - ii. A certificate of occupancy has been issued;
 - iii. The use is established;
 - iv. The Design Review approval is renewed in accordance with Subsection b. below; or
 - v. The project is a residential development that does not require the approval of a tentative subdivision map, or otherwise not vested through a development agreement with the city, then the approval shall expire after a 24-month period, unless extended for special circumstances by the City Council.
- b. A Design Review approval may be renewed for an additional period of one year, provided that prior to the expiration date, an application for renewal is filed with the Department Director. The Department Director may grant the renewal if the original findings of approval remain satisfied. If the Department Director denies the renewal request, the applicant has 10 calendar days to appeal the decision to the Planning Commission pursuant to [Chapter 17.25, Article XII \(Appeals\)](#).

17.06.750: Definitions

17.06.750.A: Definitions

17.06.750.A.1 Definitions of Specialized Terms and Phrases

A. Definitions

Accessory building. A subordinate, detached building the use of which is incidental to that of a primary building on the same lot. Examples of accessory buildings include, but are not limited to, a garage, carport, tool house, home office or work studio, greenhouse, pool house, playhouse and shed.

Accessory structure. A subordinate structure the use of which is incidental to that of a primary building on the same lot. Examples of accessory structures include, but are not limited to, a pergola, trellis, open play structure, swimming pool, tennis court, play court, and deck.

Active Frontage. Ground floor frontages intended for non-residential uses and the primary living area of residential uses (living rooms, dining areas, etc.) ranging from Shopfront, Terrace, Gallery, Arcade to Dooryard.

Adjacent. Sharing a common lot line, or having lot lines separated only by an alley.

Adjacent Buildings. Two or more buildings located upon adjacent lots.

Apartment House. The Apartment House Building Type is a medium-to-large-sized structure that typically consists of 7–18 side-by-side and/or stacked dwelling units (or more when senior housing is used), typically with one shared entry. This type is appropriately scaled to fit within medium-density neighborhoods or sparingly within larger lot predominantly single-family neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone. See [17,06.730.B.3.c \(Apartment House\)](#).

Alley. A public or private way to be used primarily for vehicular access to the back or side of a parcel of real property that abuts a street.

B. Definitions

Bay, Bay Window. A window that projects from the main wall of a building that may begin on the ground floor and extend to upper floors.

Block Face. Dimension of one block side measured at the right-of-way or public frontage line along one side of a street.

Brewpub. A micro-brewery that brews beer primarily for on sale consumption and includes a tasting or restaurant component. A full commercial kitchen is not required, however food or snacks, available for purchase either through the brewpub or a third party, must be made available. This definition primarily encompasses CA ABC license types 23 (small beer manufacturer) and 75 (on sale general – brewpub). Brewpubs are

primarily a retail operation, while breweries are primarily a production and wholesaling operation.

Block Perimeter. Dimension of the complete perimeter edge of a block measured at the right-of-way or public frontage line along one side of multiple streets.

Buildable Area. The area in which a building is permitted to be constructed; see "Building envelope" in [17.04.030 \(Definitions of words and terms\)](#).

Building Entrance. A point of pedestrian ingress and egress to a building.

Building Form. The overall shape and dimensions of a building.

Building Type. A structure defined by its combination of configuration, disposition and function.

Build-to Line (BTL). A line parallel to a lot line or right-of-way where a building façade must be placed.

C. Definitions

Ceiling Height, Ground Floor. Height from finished floor to finished ceiling of primary rooms on the ground floor, not including secondary rooms such as bathrooms, closets, utility rooms and storage spaces.

Ceiling Height, Upper Floor(s). Height from finished floor to finished ceiling of primary rooms on the floor(s) above the ground floor, not including secondary rooms such as bathrooms, closets, utility rooms and storage spaces.

Chamfered Corner. An external wall of a building joining two perpendicular exterior walls, typically at a symmetrical, 45 degree angle creating a beveled edge to the building rather than a 90 degree corner.

Civic. A term defining not-for-profit organizations that are dedicated to arts, culture, education, religious activities, recreation, government, transit, and public parking facilities.

Civic Building. A structure operated by governmental or not-for-profit organizations and limited to civic and related uses.

Civic Space. An outdoor area dedicated for civic activities. See [17.06.710.B \(Civic Space Standards\)](#).

Common Areas. A portion of a residential development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner and is available for use by all persons who reside in a dwelling unit within the building or on the lot.

Construction. The performance of any act in connection with making an improvement to a lot, building or structure.

Corner Entry. An entrance located on the corner of a building.

D. Definitions

Depth, Ground-Floor Space. The distance from the street-facing façade to the rear interior wall of the ground-floor space available to an allowed use.

Detached. Separate or unconnected.

Detached House(s). Separate or disconnected building.

Development. See "[Construction](#)".

Director. Department Director or his or her duly appointed representative.

Distance Between Entries. The horizontal distance measured parallel to the façade between entrances to a building or buildings.

Dooryard. In the Dooryard Frontage Type, the main facade of the building is set back a small distance, and the frontage line is defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard does not provide public circulation along a public ROW. The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential or commercial. See [17,06.730.C.3.e \(Dooryard\)](#).

Driveway. A vehicular lane within a lot, or shared between two lots, usually leading to a garage, other parking or loading area.

E. Definitions

Elevated Ground Floor. A ground floor situated above the grade plane at street-level.

Encroachment. Any architectural feature, structure or structural element, such as a gallery, fence, garden wall, porch, stoop, balcony, bay window, terrace or deck, that breaks the plane of a vertical or horizontal regulatory limit extending into a setback, beyond the build-to-line, into the public frontage, or above a height limit.

Entry. An opening, such as a door, passage, or gate, that allows access to a building.

F. Definitions

Façade. The vertical surface of a building.

Façade Zone. The area between the minimum and maximum setback lines along the front and side street of a parcel.

Facility. An improvement, structure or building that is designed and used for a particular purpose.

Fence. A structure made of wire, wood, metal, masonry or other material, and typically used as a screen or enclosure for a yard or open space or as a divider along a lot line.

Finish Level, Ground Floor. Height difference between the finished floor on the ground floor and the adjacent public walk. In the case of a loading dock frontage that serves as the public right-of-way, the floor finish level is the height of the walk above the adjacent street. Regulations for ground floor finish level for ground floor residential uses do not apply to ground floor lobbies and common areas in multi-unit buildings.

Footprint. The outline of the area of ground covered by a building or structure.

Footprint Area. The total square footage contained within a footprint.

Forecourt. In the Forecourt Frontage Type, the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas. See [17,06.730.C.3.d \(Forecourt\)](#).

Freestanding Wall. A wall that is separate from a building and supported by independent means.

Frontage. See "Building Frontage" and "Frontage" in [17.04.030](#).

- (1) **Frontage, Private.** The area between the building façade and the property line defining the public right-of-way and defined by a Frontage Type.
- (2) **Frontage, Public.** The area between the curb of the vehicular lanes and the edge of the right-of-way.
- (3) **Frontage, Independent.** The edge of a civic space not defined by adjacent building frontage along a frontage line.
- (4) **Frontage, Building.** The edge of a civic space defined by adjacent building frontage along a frontage line.

Frontage Line. The lot line(s) of a lot fronting a thoroughfare or other public way, or a civic space.

Frontage Type. The private frontage is the area between the building facade and the lot line.

Furniture Area. An area of space that allows for the placement of furniture without restricting the movement of pedestrians.

G. Definitions

Gable. A vertical wall in the shape of a triangle formed between the cornice or eave and the ridge of the roof.

Gallery. The main façade of the building is at or near the frontage line and the gallery element overlaps the sidewalk of the right-of-way. This Frontage Type is intended for buildings with ground-floor commercial or retail uses and may be one or two stories. Due to the overlap of the right-of-way, an easement is usually required. Alternatively the lot line shall be aligned with the edge of the gallery and curb, and a sidewalk is established within an easement under the gallery. See [17,06.730.C.3.g \(Gallery\)](#).

Garage. A structure, or part thereof, used or intended to be used for the parking and storage of motor vehicles.

Glazing. Openings in a building in which glass is installed.

Gross Floor Area. The total floor area inside the building envelope, including the external walls, but not including the roof.

Ground Floor. The floor of a building located nearest to the level of the ground around the building.

H. Definitions

No specialized terms beginning with the letter H are defined at this time.

I. Definitions

Improvement. The product of any modification to a lot, structure or building.

J. Definitions

No specialized terms beginning with the letter J are defined at this time.

K. Definitions

No specialized terms beginning with the letter K are defined at this time.

L. Definitions

Landing. A level area at the top or bottom of a staircase or between one flight of stairs and another.

Live/Work (Building). The Live/Work Building Type is a small to medium-sized attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into a neighborhood main street. It is especially appropriate for accommodating home-based businesses, incubating neighborhood-serving retail and service uses and allowing neighborhood main streets to expand as the market demands. See [17,06.730.B.3.d \(Live/Work\)](#).

M. Definitions

Main Body. The primary massing of a building.

Main Building. The building that serves as the focal point for all activities related to the principal use of the lot.

Main Façade. The front façade of a Main Building.

Main Street Mixed-Use Building. The Main Street Building Type is a small- to medium-sized structure, typically attached. It may be a commercial building or a vertical mixed-use building with ground-floor retail or service uses, and upper-floor service, office, or residential uses. This type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability. See [17,06.730.B.3.e \(Main Street\)](#).

Mansion Apartment. This type is a medium-sized structure that consists of 3–6 side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This type may also accommodate retail, service, and other non-residential uses as allowed by the zone. See [17,06.730.B.3.b \(Mansion Apartment\)](#).

Major. Having a greater size, scope, effect, characteristic or quality relative to the other corresponding sizes, scopes, effects, characteristics or qualities; or being the greater of two or more.

Massing. The overall shape or arrangement of the bulk or volume of buildings and structures.

Minor. Having a lesser size, scope, effect, characteristic or quality relative to the average size, scope, effect, characteristic or qualities; or being the lesser of two or more.

Mixed-Use. Multiple functions within the same building or the same general area through superimposition or within the same area through adjacency.

Movement Type.

- (1) **Low.** Drivers generally expect to travel without delay at the appropriate design speed. Thoroughfare design supports safe pedestrian movement at the higher design speed. This movement type is appropriate for thoroughfares designed to traverse longer distances to connect with higher intensity locations. Design speed is 30-35 mph.

- (2) **Slow.** Drivers generally proceed carefully with an occasional stop to allow a pedestrian to cross or another car to park. The character of the thoroughfare should make drivers uncomfortable exceeding the design speed due to the presence of parked cars, sense of spatial enclosure from buildings and street trees, tight turning radii, and other design elements. Design speed is 20-25 mph.
- (3) **Yield.** Drivers generally proceed slowly, with caution, and yield to approaching traffic when vehicles are parked on both sides of the thoroughfare creating essentially one through lane. A Yield thoroughfare is the functional equivalent of traffic calming. In addition to Yield movement use on normal thoroughfares, this movement is used for alleys and rear lanes. For these applications, the primary purpose is access to rear loaded driveways/access for residential and commercial property. The travel lane for Rear Lanes can be configured for one-way or two-way operation. When used for two-way travel, parking is required on both sides of street in order to facilitate the Yield movement type and drivers exiting garages or driveways will need to yield to those vehicles occupying the lane; therefore, the number of properties connected to the rear lane should be considered.

N. Definitions

No specialized terms beginning with the letter N are defined at this time.

O. Definitions

Open Space. See "[Civic Space](#)."

Open Zone. A sub-zone within a Zone that allows for a greater range of land uses within the zone's building form standards.

Overhead Doors. Doors constructed in horizontally hinged sections that are equipped with hardware that rolls the sections into an overhead position, clear of the opening.

P. Definitions

Parapet. A low wall along the edge of a roof or the portion of a wall that extends above the roof line.

Parking Driveway Width. The horizontal measurement of an access driveway to a parking area, measured perpendicular to the direction of travel.

Passive Recreation. See "[Recreation, Passive](#)."

Path of Travel. A continuous, unobstructed way of pedestrian passage.

Pedestrian Shed. An area centered on a major destination. Its size is limited by an average distance that may be traversed at an easy walking pace in a given amount of time from its center to its edge. Pedestrian sheds are used for planning walkable urban areas.

Planting Strips. A landscaped or grassy area located between a street and a sidewalk.

Porch. A covered shelter projecting in front of a building entrance.

- (1) **Porch, Engaged.** The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are engaged to the building while the other two sides are open. See [17,06.730.C.3.b \(Porch: Engaged\)](#).

- (2) **Porch, Projecting.** The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and all habitable space is located behind the setback line. See [17,06.730.C.3.a \(Porch: Projecting\)](#).

Public Assembly. A gathering of members of the public.

Public Use. A use undertaken by a political subdivision, its agents or assigns.

Q. Definitions

No specialized terms beginning with the letter Q are defined at this time.

R. Definitions

Recessed Entry. An entrance to a building that is set back from the façade of the building.

Recreation, Active. Recreational pursuits usually performed with others and often requiring equipment which required physical alteration to the area in which they are performed. Such areas are intensively used, and include but are not limited to playgrounds, sport courts, baseball/softball and other field sports, and swimming pools.

Recreation, Passive. Recreational pursuits involving existing natural resources which can be carried out with little alteration or disruption to the area in which they are performed. This includes, but is not limited to, such activities as walking, hiking, bicycling, bird and animal watching, and picnicking.

Residential Mixed-Use. Residential uses within the same building as a commercial uses.

Right-of-Way. (R.O.W.) Land, property, or an interest therein, dedicated to transportation purposes.

- (1) **Right-of-Way, Public.** A right-of-way dedicated to use by the general public.

Rowhouse. See "[Townhouse](#)".

S. Definitions

Secondary Wings. A structure physically attached to, and secondary and incidental to, the Main Body of a Main Building.

Service Entries. Building access for service providers.

Setback, Building. The mandatory clear distance between a lot line and a structure.

Setback, Parking. The mandatory clear distance between a lot line and parking.

Shared Parking. Any parking spaces assigned to more than one user, where different persons utilizing the spaces are unlikely to need the spaces at the same time of day.

Shopfront. The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types. See [17,06.730.C.3.f \(Shopfront\)](#).

Sidewalk. A paved right-of-way intended exclusively for pedestrian use and often installed between a street and lot frontages.

Street, Front. Street located along the front lot line of a lot.

Street, Side. Street located along a lot line of a lot that is not along the front lot line.

Stoop. The main facade of the building is near the frontage line, and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks. See [17,06.730.C.3.c \(Stoop\)](#).

Storefront. The portion of a shopfront frontage composed of the display window and/or entrance and its components, including windows, doors, transoms and sill pane.

(1) **Story, Half.** A conditioned space that rests primarily underneath the slope of the roof, usually having dormer windows.

Structure. An improvement permanently attached to real property.

T. Definitions

Tandem Parking. A parking space deep enough to allow two cars to park, one behind the other.

Terminated Vista: A location on the Regulating Plan at the axial conclusion of a Thoroughfare. A building located at a terminated vista is required to be designed in response to the axis.

Thoroughfare. A way for use by vehicular, pedestrian, and bicycle traffic that provides access to lots and open spaces, and that incorporates vehicular lanes and public frontages. See [17,06.710.C \(Thoroughfare Standards\)](#).

Townhouse. The Townhouse Building Type is a small- to medium-sized typically attached structure that consists of 2–8 Townhouses placed side-by-side. This type may also occasionally be detached with minimal separations between the buildings. This type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. See [17,06.730.B.3.a \(Townhouse\)](#).

Transit Stop. A location where buses stop to load and unload passengers. A transit stop sometimes includes a shelter or a dedicated platform along the sidewalk.

U. Definitions

Unit. A discrete portion of a building.

Upper Floor. A floor in a building containing habitable space that is located above the ground floor.

V. Definitions

No specialized terms beginning with the letter V are defined at this time.

W. Definitions

Walkable Urban Development Pattern. Refers to areas pedestrian-oriented in nature and that contain services, retail, or restaurants within a short walking distance, i.e. historic neighborhoods, Downtown.

Walkway. A paved way located on one or more lots, used for pedestrian traffic and used exclusively by the lot owner or owners, their guests and invitees.

Regulating Plan

1"=100'

Downtown District Zones

-  Railroad
-  Proposed Thoroughfare
-  DDAZ Boundary
-  Proposed Civic Spaces
-  Downtown Neighborhood
-  Downtown Main Street
-  Downtown Core
-  Priority Retail Area
-  Active Ground Floor Required
-  Priority Slip Lane Condition (17.06.710.C.7.c)
-  Terminating Vista

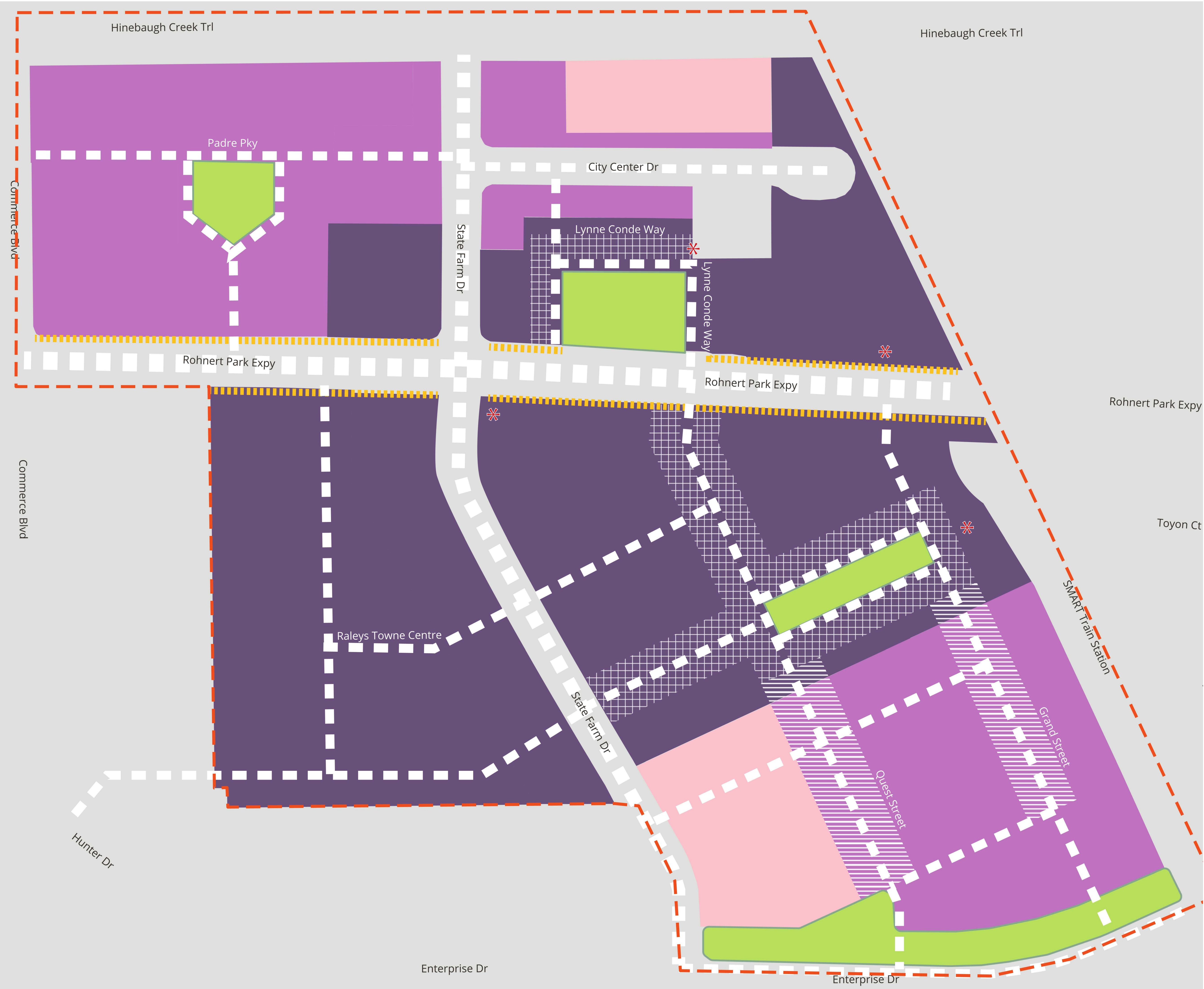
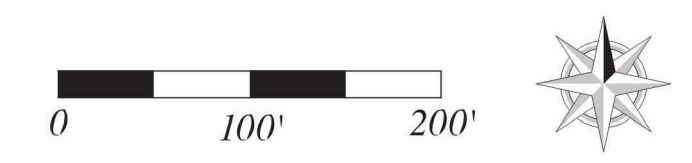


Figure 17.06.720.A.4
(DDAZ Regulating Plan)

Rohnert Park, California
November 1, 2018



A. Intent

Downtown Core

Intent Diagram



Intent

A vibrant, walkable, urban main street serving the Rohnert Park community and the region with commercial, retail, entertainment, and civic uses, public transportation, and medium-to-large footprint, moderate-to-high intensity housing choices.

Desired Form

Detached or Attached Buildings: Primarily Attached

Lot Width:
Medium to Large

Footprint:
Medium to Large

Setbacks:
Buildings at back of sidewalk

Building Height
Up to 5-7 stories

Ground Floor:
At ground level

Frontages:
Primarily Shopfronts, Galleries, and Arcades

Streetscape:
Street Trees in Tree Wells

General Use

Primarily Ground Floor Commercial, Residential and/or Office on upper stories, Civic
Vertical Mixed Use

Parking

Low Parking Requirements/Parking Maximums
Shared Parking, Parking Reductions, On-Street Parking, Parking Lots

Downtown Main Street

Intent Diagram



Intent

A walkable, vibrant urban main street serving multiple neighborhoods with commercial, retail, entertainment, and civic uses, public transportation, small-to medium footprint buildings with some moderate-to-high-intensity housing choices.

Desired Form

Detached or Attached Buildings:
Primarily Attached

Lot Width:
Small to Medium

Footprint:
Small to Medium

Setbacks:
Buildings at/near back of sidewalk

Building Height
Up to 4.5 stories

Ground Floor:
At or raised from ground level

Frontages:
Primarily Shopfronts, Galleries, Dooryards, Terraces, and Forecourts

Streetscape:
Street Trees in Tree Wells

General Use

Commercial and Service, Residential, Civic
Vertical and Horizontal Mixed Use

Parking

Low Parking Requirements
Shared Parking, Parking Reductions

Downtown Neighborhood

Intent Diagram



Intent

A walkable, urban neighborhood environment with small-to-medium footprint, lower-intensity housing choices, supporting and within short walking distance of neighborhood-serving retail and services.

Desired Form

Detached or Attached Buildings:
Mix of Attached and Detached

Lot Width:
Small to Medium

Footprint:
Small to Medium

Setbacks:
Buildings uniformly set back from sidewalk

Building Height:
Up to 3.5 stories

Ground Floor:
Raised from ground level

Frontages:
Primarily Dooryards, Stoops, Porches, Forecourts

Streetscape:
Street Trees in Tree Wells or planter strips

General Use

Residential, Civic, with some Service
Primarily Horizontal Mixed Use

Parking

Low Parking Requirements

Form-Based Zone Summary Table

Downtown Rohnert Park Form-Based Code

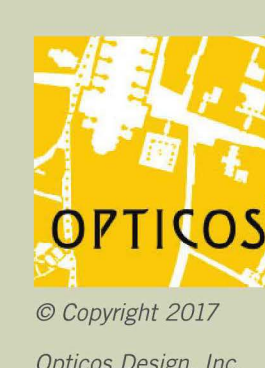
Rohnert Park, California
July 2018

Description	Downtown Core	Downtown Main Street	Downtown Neighborhood
B. Allowed Building Types			
Townhouse	x	x	x
Mansion Apartment			x
Apartment House		x	x
Apartment Block	x	x	
Live/Work	x	x	
Main Street Mixed-Use	x	x	
Lot Size (for zone; individual types to receive specific requirements)			
Width	By Building Type	By Building Type	By Building Type
Depth	By Building Type	By Building Type	By Building Type
Miscellaneous			
A building form with a chamfered corner is allowed only if a corner entry is provided.			
Only one main building and one accessory structure may be built on each lot.			
Entire BTL shall be defined by a building or a building and a 8" to 48" high fence or stucco or masonry wall.			
Planting strip only allowed between sidewalk and building in the Downtown Neighborhood Zone.			
C. Building Form			
Height (Max Stories /Feet to Highest Eave)¹			
Main Building ²	7 stories/85' max. to eave ³	4.5 stories/55' max. to eave	3.5 stories/40' max. to eave
Accessory Structure			
Accessory Dwellings	2 stories/24' max. overall	2 stories/24' max. overall	2 stories/24' max. overall
Other	1 story/ 14' max. overall	1 story/ 14' max. overall	1 story/ 14' max. overall
Ground Floor Finish Level	6" max.	0' min.	18" min.
Ceiling Height, Ground Floor			
Residential	12' min.	12' min.	10' min.
Non-residential	14' min.	14' min.	12' min.
Ceiling Height, Upper Floor(s)	8' min.	8' min.	8' min.
¹ Height is measured to eave per 17.06.730.A.1. (Additional Height Regulations) .			
² Within 20' of the rear property line, buildings may not be more than a half-story taller than the allowed height of adjacent buildings.			
³ Upper Floor(s) above 5th Floor shall be setback from ground floor facade per standards in section D.			
Footprint			
Lot Coverage	90% max.	80% max.	60% max.
Main Building			
Width ³	By Building Type	By Building Type	By Building Type
Depth	By Building Type	By Building Type	By Building Type
Accessory Structure			
Width	24' max.	24' max.	24' max.
Depth	32' max.	32' max.	32' max.
Depth, Ground-Floor Space			
Residential	NA	24' min.	24' min.
Non-residential, Front	40' min.	40' min.	40' min.
Non-residential, Side Street	no min.	no min.	no min.
³ Buildings wider than 75' shall be designed to read as a series of buildings no wider than 75' each.			
Miscellaneous			
Distance Between Entries			
at Ground Floor	50' max	50' max.	-
at Upper Floor(s)	25' max	35' max.	-
All upper floors shall have a primary entrance along the front			
Loading docks, overhead doors, and other service entries may not be located on street-facing facades.			

Form-Based Zone Standards Tables

Downtown Rohnert Park Form-Based Code

Rohnert Park, California
July 2018



Description	Downtown Core	Downtown Main Street	Downtown Neighborhood
D. Building Placement			
Building Location and Placement			
Build-To Line (BTL)	Minimum needed to result in a 12' min. sidewalk	Minimum needed to result in a 12' min. sidewalk	at ROW
Front Setback behind BTL			
Main Building	0' min.; 5' max	0' min.; 10' max	5' min. ;15' max.
Main Building, Upper floor(s)	10' min. at 5th story	not applicable	not applicable
Side Street Setback			
Main Building	0' min.; 5' max	0' min.; 5' max	5' min.; 10' max
Main Building, Upper floor(s)	10' min. at 5th story	not applicable	not applicable
Accessory Building	3' min.	3' min.	3' min.
Side Setback ³			
Ground floor	0' min.	0' min.	5' min.
Accessory Building	3' min.	3' min.	3' min.
Rear Setback	5' min.	5' min.	5' min.
Facade within Facade Zone ¹			
Front	85% min.	75% min.	75% min.
Side Street	60% min.	60% min.	60% min.

¹ On corner lots, the BTL shall be defined by a building for the first 30' from the corner.

² Where existing adjacent buildings are in front of the regulated BTL, the building may be set to align with the facade of the front most immediately adjacent property.

³ No side setback required along common property line between Townhouse building types.

E. Encroachments and Frontage Types

Allowed Encroachments⁵

Front	8' max.	8' max.	8' max.
Side Street	8' max.	8' max.	8' max.
Side	5' max.	5' max.	5' max.
Rear	5' max.	5' max.	5' max.

⁵ Maximum allowed encroachments, see Frontage Types [Section 17.06.730.C.3 \(Specific to Private Frontages\)](#) for further refinement of the allowed encroachments for frontage elements.

⁶ Awnings and Galleries may encroach further into the street ROW to within 2' of the face of curb. All other encroachments are not allowed within street ROW.

Allowed Frontage Types

Porch: Projecting			x
Porch: Engaged			x
Stoop	x	x	x
Forecourt	x	x	x
Dooryard	x	x	x
Shopfront	x	x	
Terrace	x	x	x
Gallery	x	x	
Arcade	x		

E. Parking

Parking Requirements (see Subsection 17.06.730.A.2 Additional Parking Regulations in the DDAZ)

Location (Distance from Property Line / ROW)

Front Setback	50' min.	50' min.	40' min.
Side Street Setback	5' min.	5' min.	5' min.
Side Setback	0' min.	0' min.	0' min.
Rear Setback	5' min.	5' min.	5' min.

Miscellaneous

Parking Drive Width (Max.)			
Front, ≤ 40 spaces	14' max.	14' max.	14' max.
Front, > 40 spaces	18' max.	18' max.	18' max.
Side Street/Alley	24' max.	24' max.	24' max.

Form-Based Zone Standards Tables

Downtown Rohnert Park Form-Based Code

Rohnert Park, California
July 2018

